

AGENDA
Municipal Services Committee
April 27, 2026
6:00 P.M. – Council Chambers

1. **Call to Order**
2. **Establish A Quorum**
3. **Old Business**
4. **New Business**
 - a. **Motion** – Authorizing the purchase of one (1) new Finn T60T Hydroseeder from Burris Equipment in an amount not to exceed \$45,576.25.
 - b. **Motion** – Accepting the proposal of a 12-month subscription renewal for the Mini-Road Weather Information Systems sensors from Frost Solutions, LLC, in an amount not to exceed \$19,600.
 - c. **Motion** – Authorizing the purchase of one new model 1599-FB flatbed trailer from Sauber Manufacturing Company in an amount of \$38,506.00, and plates and registration in an amount not to exceed \$350.
 - d. **Motion** – Authorizing the purchase of one new ten-ton dovetail trailer, from A&W Truck and Trailer for \$15,248.00
 - e. **Motion** - Authorizing a proposal for retrofitting the reheat coils on the Variable Air Volume (VAV) Boxes for the Police Department HVAC system, to Amber Mechanical Contractors in an amount not to exceed \$20,532.56.
 - f. **PZC-26-6** – Variation (Husain Koita – 2505 75th Street)
 - g. **PZC-26-5** - Special Use, & Variations – Time Extension (Indvestia Darien, LLC – 7409 Cass Avenue)
 - h. **PZC-26-4** - Special Use, Variations, Preliminary Plat of Subdivision, Minor PUD Amendment (Core Acquisitions, LLC)
 - i. **Ordinance** - Text amendments to Title 7 (Health and Sanitation) to clarify existing outdoor storage standards for trash bins under Section 7-1-5(B) of the City Code.
 - j. **Minutes** – **March 23, 2026** Municipal Services Committee
5. **Director’s Report**
6. **Next scheduled meeting – May 26, 2026**
7. **Adjournment**

MOTION NO. _____

AGENDA MEMO
Municipal Services Committee
April 27, 2026

ISSUE STATEMENT

A motion authorizing the purchase of one (1) new Finn T60T Hydroseeder from Burriss Equipment in an amount not to exceed \$45,576.25. See Exhibit A

BACKGROUND/HISTORY

The hydroseeder is a specialized piece of equipment designed to spray a slurry mixture of seed, mulch, fertilizer, and tackifiers onto prepared soil in a single, efficient operation. The current unit in service is a modified system consisting of a converted water tank and pump mounted on a 1998 trailer. This equipment was assembled in-house by staff during 2019–2020 using available shop inventory and components.

At present, both the trailer and hydroseeding system have reached the end of their useful service life and require extensive repairs. Identified deficiencies include the need for a complete deck replacement, structural steel repairs, and replacement of rotted bottom beams. In addition, the tank and operating controls are outdated and no longer meet current technology and safety standards.

Given the extent and cost of these required repairs, full replacement of the hydroseeder is considered the most cost-effective and practical solution.

The existing makeshift hydroseeder has demonstrated clear operational and financial benefits, particularly when compared to traditional sod installation. Below are additional benefits of a hydroseeder:

Key Benefits of Hydroseeding:

- **Accelerated and Uniform Growth:**
The slurry mixture creates a nutrient-rich, moisture-retentive environment that promotes rapid germination. Grass typically begins sprouting within 5–7 days, with full coverage achieved in approximately 3–4 weeks. The pressurized application ensures even distribution, minimizing patchy growth commonly associated with dry seeding methods.
- **Cost-Effective Alternative to Sod:**
Hydroseeding produces a dense, high-quality lawn comparable to sod at a significantly reduced cost—typically 50% to 80% less than traditional turf installation. Please note, sod restoration will still be implemented within sensitive areas.
- **Immediate Erosion Control and Sustainability:**
The inclusion of fiber mulch and tackifiers allows the slurry to bind to the soil surface, forming a protective layer that helps prevent erosion from wind and rainfall immediately after application. This functions as a natural stabilizing blanket for disturbed areas.
- **Versatility in Challenging Terrain:**
Hydroseeding is particularly effective in hard-to-reach or difficult areas, such as steep slopes or uneven terrain, where conventional seeding or sod placement is impractical.

- Enhanced Long-Term Turf Health:**
 Because the grass establishes directly in native soil conditions, it tends to develop deeper, more resilient root systems. This contributes to improved durability and reduced long-term maintenance and replacement costs.

The existing equipment will be retired and declared surplus under a separate future memorandum.

The proposed equipment would be purchased under the Sourcewell Contract: 070821-FNN and the expenditure would be expended from the following line account:

ACCOUNT NUMBER	ACCOUNT DESCRIPTION	FY 26/27 BUDGET	PROPOSED EXPENDITURE	PROPOSED BALANCE
01-30-485	Street Dept - Capital - Equipment Hydro Seeder Trailer	\$23,000.00	\$22,788.13	\$211.87
02-50-4815	Water Dept - Capital - Equipment Hydro Seeder Trailer	\$23,000.00	\$22,788.12	\$211.88
TOTAL		N/A	\$45,576.25	\$423.75

STAFF RECOMMENDATION

Staff recommends authorizing the purchase of one hydroseeder and trailer from Burris Equipment in an amount not to exceed \$45,576.25.

ALTERNATE DECISION

As recommended by the Committee.

DECISION MODE

This item will be placed on the May 4, 2026 City Council agenda for formal consideration.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 4th day of May 2026.

AYES: _____

NAYS: _____

ABSENT: _____



Construction & Landscape Equipment Specialists
www.burrisequipment.com

Waukegan:
 2216 N. Greenbay Road
 Waukegan, IL 60087
 (847) 336-1205
 (847) 336-2697 - Fax

Date: 4/14/2026

Rev:

Invoice To:
Ship To: C00004878 **Sourcewell Account #110530**
 CITY OF DARIEN
 1702 PLAINFIELD RD - 1041 S.FRONTAGE RD
Attn: DARIEN, IL 60559
Ph # Kris Throm
Cell #
Email kthrom@darienil.gov

Lakemoor:
 27939 W. Concrete Drive
 Ingleside, IL 60041
 (815) 363-4100
 (815) 363-4109 - Fax

Joliet:
 2001 Cherry Hill Road
 Joliet, IL 60433
 (815) 464-6650
 (815) 464-6951 - Fax

We are pleased to submit this quote for your consideration:

Qty	Code	Description	Price
1	A7404-001	Finn T60T Hydroseeder 600 Liquid Capacity, 500 Working Capacity 23.5 hp Kohler CH730 Gas Engine Trailer Mounted w/Electric Brakes & DOT Lights Standard Pintle Hitch Suction Line Valve	36,555.00
1	A7832-003	Deluxe Option #1 & Option #2 Operator platform, discharge boom, guard rails, [4] Tower Nozzles ([2] wide fan, [1] narrow fan, [1] long distance) & electric hose reel w/ 150' x 1-1/4" continuous hose (200 psi), remote valve & [3] Hose Nozzles ([1] wide fan, [1] narrow fan, [1] long distance)	9,785.00
Sourcewell Discount @ 5%			-2,263.75
Factory Freight & Prep			1,500.00
Sub-Total:			45,576.25
Sales Tax %:			EXEMPT
Grand Total:			\$45,576.25

Notes:
Finn Sourcewell Number 052417-FNN

Quote Good Thru: 30 Days

Order Accepted:

George O'Hara
george.ohara@burrisequipment.com
CELL # (708) 514-0823
Burris Equipment

Customer Signature _____ Date _____ Sales Representatives Signature _____ Date _____
 Sales Service Rentals Parts

MOTION NO. _____

AGENDA MEMO
Municipal Services Committee
April 27, 2026

ISSUE STATEMENT

A motion accepting the proposal of a 12-month subscription renewal for the Mini-Road Weather Information Systems sensors from Frost Solutions, LLC, in an amount not to exceed \$19,600. See Exhibit A.

BACKGROUND/HISTORY

The Road Weather Information Systems provides vital road temperature during the winter season. The equipment is positioned on light poles throughout the City’s 7 snow regions and allows Staff to implement the optimal anti and/or deicing products on the roadways. Pending the conditions warranted through the equipment, savings are realized on deicing products, road salt usage and staffing. The Staff continues to utilize the data provided for winter events to deliver optimal anti-icing and deicing operations. Since the implementation, it has provided valuable data in preparing for the roadway treatment in ongoing or upcoming events. Below are additional bullet points regarding the units:

- Alarms can be set to notify us when certain weather conditions are being met for pavement temp, air temp, humidity, dew point
- Real time data about conditions in our City versus at locations surrounding us like airport, highway weather points or the City of Chicago
- Winter Storm mode pulls real time images every 20 minutes for the duration of impactful winter weather events.
- Real time conditions of the roads

The FY 26-27 Budget included funds for the subscription and would be charged against the following account:

Account Number	Account Description	FY 26-27 Budget	Expenditure	Balance
01-30-4213	Streets-Dues & Subscriptions Frost Solutions road temp sensors	\$10,200	\$9,800	\$400
02-50-4213	Water-Dues & Subscriptions Frost Solutions road temp sensors	\$10,200	\$9,800	\$400
TOTALS		N/A	\$19,600	N/A

STAFF RECOMMENDATION

Staff recommends accepting the proposal of a 12-month subscription renewal for the Mini-Road Weather Information Systems sensors from Frost Solutions, LLC, in an amount not to exceed \$19,600. See Exhibit A.

ALTERNATE CONSIDERATION

As directed by the Committee.

DECISION MODE

This item will be placed on the May 4, 2026 City Council agenda for formal consideration.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE
COUNTY, ILLINOIS, this 4th day of May 2026.**

AYES: _____

NAYS: _____

ABSENT: _____



ORDER FORM
FROST SOLUTIONS, LLC & City of Darien, IL
PROPOSAL DATE: 04/06/2026

All Frost Solutions products are non-invasive and include a self-install hardware unit, access to the web application, service and support, and product replacement (if necessary). Frost Solutions maintains ownership of the hardware unit at all times. Historical data, configurable alerts, and unlimited user accounts are included with subscription.

Frost Solutions Mini-Weather Station	
Hardware	Solar + battery-powered low-light camera and sensor unit providing surface temperatures, still shot images (day and night multiple times per hour during winter), air temperature, dew point, humidity, and lens defroster.
	Additional Included Application Services: On-demand image requests, Frost Vision AI Image Assessment, atmospheric and surface temperature and condition forecasting, and image retrieval.

Product	Term	Quantity	Unit Cost	Year 1 Cost	Term Total
Mini-Weather Station Renewal - Annual Lease Subscription - Jul 1, 2026 - Jun 30, 2027	12 Months	7	\$ 2,800.00	\$ 19,600.00	\$ 19,600.00
Contract Notes: *All amounts are in \$USD unless otherwise noted. Total price is in addition to any applicable sales tax. Payments via credit card may be subject to additional fees. Auto-renewing contracts include a 4% annual price increase.				Year 1 Total \$ 19,600.00	Grand Total \$ 19,600.00

Payment Terms	
Date Due	Amount
Jun 1, 2026	\$19,600.00

TERMS & CONDITIONS

This Order Form, in conjunction with the Master Service Agreement, which is incorporated herein by reference, establishes the commercial relationship between Frost Solutions, LLC and the Customer. The parties acknowledge that they have read, understand, and agree to the terms and conditions of this Order Form and the related Master Service Agreement that is either attached to this Order Form or was included with a prior Order Form. In the event of a discrepancy between the terms of this Order Form and the Master Service Agreement, the Master Service Agreement shall control.

PAYMENTS, REFUNDS, & CANCELLATIONS

Customer shall pay all fees specified in this Order Form without offset or deduction. Customer shall make all payments hereunder in U.S. Dollars, unless otherwise noted, on or before the due date set forth in this Order Form. Except as otherwise specified herein, (a) fees are based on services purchased and not actual usage or services provided; (b) payment obligations are non-cancelable; (c) fees paid are non-refundable; and (d) the services purchased cannot be decreased during the relevant Term. Customer may terminate this Order Form at any time, however such termination shall not result in any refund of payments previously made or cancellation of any future payment(s) due as set forth in this Order Form to Frost Solutions, LLC during the current Term, but only results in the termination of automatic renewals and any future payments caused by such automatic renewals no longer being due to Frost Solutions, LLC.

Customer Information	
Purchase Order Number:	
Primary Contact Name:	Kris Throm



Primary Contact Email: kthrom@darienil.gov

Primary Contact Phone: +16305143453

Shipping Information

Shipping Recipient Name:

Shipping Recipient Email:

Shipping Recipient Phone:

Shipping Address:

Street:

City:

State/Province:

ZIP:

Country: United States

Additional billing and shipping notes:

Billing Information

Billing Contact Name:

Billing Contact Email:

Billing Phone:

Billing Address:

Street:

City:

State/Province:

ZIP:

Country: United States

FROST SOLUTIONS, LLC

City of Darien, IL

Signature

Signature

Printed Name

Printed Name

Title

Title

Date

Date

MOTION NO. _____

AGENDA MEMO
Municipal Services Committee
April 27, 2026

ISSUE STATEMENT

A motion authorizing the purchase of one new model 1599-FB flatbed trailer from Sauber Manufacturing Company in an amount of \$38,506.00, and plates and registration in an amount not to exceed \$350. See Exhibit A.

BACKGROUND/HISTORY

The proposed equipment is a dedicated trailer designed specifically for new safety shoring. Please note that the safety shoring itself will be presented separately at a future agenda meeting. This trailer will be solely dedicated to transporting and supporting the specific shoring system primarily used for water main break operations.

This item is considered a specialty product and is exclusively available through Sauber Manufacturing Company. As a result, no competitive quotes are available. Please refer to Attachment A for the sole source letter.

ACCOUNT NUMBER	ACCOUNT DESCRIPTION	FY26/27 BUDGET	PROPOSED EXPENDITURE	BALANCE
02-50-4219	Water Dept - Shoring Equipment-Trailer	\$102,000.00	\$38,506.00	\$63,494.00
02-50-4219	Title and Plate		\$ 350.00	\$63,144.00
TOTALS		\$102,000.00	\$38,856.00	\$63,144.00

STAFF RECOMMENDATION

Staff recommends approval of a motion authorizing the purchase of one new model 1599-FB flatbed trailer from Sauber Manufacturing Company in an amount of \$38,506.00, and plates and registration in an amount not to exceed \$350.

ALTERNATE CONSIDERATION

Not approving this item at this time.

DECISION MODE

This item will be placed on the May 4, 2026 City Council agenda for formal consideration.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 4th day of May 2026.

AYES: _____

NAYS: _____

ABSENT: _____

Sauber Manufacturing Company
10 N. Sauber Road
Virgil, IL 60151

4/16/2026

Darien Public Works
1702 Plainfield Road
Darien, IL 60561

To Whom it May Concern,

Sauber Mfg. Co. is a leading innovator of equipment for utility line construction and maintenance. Our debt-free organization has served utility customers for over 50 years. Sauber Mfg. Co.'s standard features lead the industry, from galvanized finish to sectionalized automotive wiring harnesses in trailer applications. Our equipment is engineered and manufactured using SolidWorks designs with direct integration into our production system. You will receive a quality finished product, even with first-time designs specially created for your requirements. Our experience ensures your project is completed correctly. Any trailer you purchase includes a 10-year warranty because Sauber Mfg. Co. equipment is built that well.

Sauber Mfg. Co. trailers are commonly in service for 20-30 years. We offer excellent parts service. Our dedicated professionals averaging 15 years of tenure. Their success is aided through indefinitely retained work orders and drawings; your trailer's build information is available when repair and maintenance is required, 10, 15, or 20 years in the future. This keeps your fleet low cost and reliable with a long lifespan. We'll help keep your equipment working.

We created this Model 1599-FB Flat Bed Trailer design to enhance crews abilities and efficiency. These features make it unique from other companies' offerings.

- Standard Hot Dipped Galvanized Finish with 10-year warranty prevents rust, paint maintenance cost and premature equipment failure.
- Bent Structural Steel Tubing Frame is stronger and does not depend on weld quality for strength.
- Hidden automotive wiring harness with protected routing prevents down time due to damaged wiring. That is a common problem when traveling in difficult terrain.
- Standard galvanized axle beam and galvanized wheels for longer life.
- Customized Side Rails & Underbody Mat Storage keeps materials in place for use where and when needed.



- Custom solid model approval drawings are provided prior to production for team review and approval. Three-dimensional models show all stakeholders what's being provided.
- Apitong Shiplap Decking is standard and harder than any other available wood flooring. It is installed via deck clips to prevent rusting inside crossmembers. Stainless-steel and aluminum clips can be removed with less effort if the deck ever needs replacement.
- EZ Up Jack System w/ Bronze Swivel is rust-free for reliable operation.
- Trailer brake system includes a breakaway switch with LED light and available charging circuit. Standard Model 8854 4-Watt Solar Battery Box offers substantial charging with fuse protection and a stainless-steel box. The system employs a full-size automotive battery for longer life and more reliable performance.
- Use specific securement and storage options included. Non-rusting d-rings rated and located for the required loads. Underdeck matt storage integrated into the design with standard hot-dipped galvanized finish.

Thank you for your consideration.

Justin Farr
Sauber Mfg. Co.
justinfarr@saubermfg.com
(630) 492-5008

Sales Quote

Sales Quote Number: SQ14248
 Document Date: 04/13/26
 Page: 1 / 2



Phone 630.365.6600
SAUBERMFG.COM
 10 North Sauber Road
 Virgil, IL 60151-1000

Sell To

Darien Public Works
 Dennis Cable
 1041 South Frontage Road
 Darien, IL 60561
 United States

Ship To

Darien Public Works
 Dennis Cable
 1041 South Frontage Road
 Darien, IL 60561
 United States

Salesperson	Shipment Method	Payment Terms	Bill-to Customer No.
Justin Farr	Customer Pickup	Net 30 Days	C00171

No.	Description	Quantity	Unit of Measure	Unit Price Excl. Tax	Line Amount Excl. Tax
1599-FB	Flatbed Trailer - S/N 27'L x 96"W Overall 252"L x 91"W Cargo 16,450# GVWR; 12,000 +/- Capacity (2) 7000# Axles w/ Torflex Suspension - Galvanized 19770 235/80R16 LRE Tire/Rim Assy High Visibility Wheel Nut Indicators Deck Over Undercarriage Design Apitong Wood Deck 3"ID 60,000# Pintle Eye w/ Galvanized Multi-Position & Reversible 11"L Adjustable & Reversible Hitch Extension - Galvanized 3/8"-Grade 70 Safety Chain Group w/ Slip Hooks & Safety Clasps 10K EZ-Up Jack Complete w/ Sandshoe Xenoy Weatherproof Registration Container SAE 7-Way, Glass Filled Nylon Socket w/ Almag Protective Housing 12' Coiled Jumper Cord w/ Zinc Die Cast 7-Way SAE Plugs 8854 4-Watt Stainless Steel Solar Battery Box w/ Fuse Protection 450 CCA Wet Cell Battery w/ Rubber Protecting Bottom & Top Sealed Breakaway w/ LED Battery Condition Indicator (2) 8500-FO All Weather Wheel Chock w/ Urethane Grip - Orange w/ Almag Chock Holders Front Tongue Area Tool Box w/ 14 Gauge Stainless Steel Construction Stainless Paddle Latch & Hinge and Gas Lid Assist Spring 4" x 6" x 1/4" Bent Tubing Main Frame 4" x 8" x 1/4" Rear Tube Protecting Lighting, License Plate & Wiring Plain Black 1/4" Mud Flaps - No Logo Sealed Beam LED Lamps w/ Sealed Waterproof Wiring Harness Recessed ABS License Plate Mount w/ Integrated Light Conspicuity Markings to Meet DOT Requirements Hot-Dip Galvanized Trailer & Wheels Accessories Imron 3.5+ Polyurethane Gray Stainless Steel Fasteners Below 1/2"; Grade-8 Fasteners 1/2" & Above; Lock Nuts Used Exclusively Where Applicable 10-Year Structural, Parts & Labor On All Sauber Components 10-Year Galvanized Finish Warranty 3-Year Total Parts & Labor Coverage w/ Labor Reimbursement ++ Included Options Below ++	1	Each	38,506.00	38,506.00

Sales Quote

Sales Quote Number: SQ14248
 Document Date: 04/13/26
 Page: 2 / 2



Phone 630.365.6600

SAUBERMFG.COM

10 North Sauber Road

Virgil, IL 60151-1000

No.	Description	Quantity	Unit of Measure	Unit Price Excl. Tax	Line Amount Excl. Tax
Z1327	Recessed D-Ring Installation - 9120# WLL 3/4" x 4.5 w/ 12316 D-Ring w/ 12317 Bracket (4) ea Side - Equidistant	8	Each		
G-MP	Underdeck Mat Storage - RS - 101"L x 51"D x 10"H w/ 2"H Lip & Dual Fold Down Retainers	1	Each		
19171	BOA C-Channel EZ Torque Winch - Silver - 5500# WLL	4	Each		
14353	4"x27'L Binder Strap w/ 1021 Flat Hook 5400# WLL - Yellow	4	Each		
16675	EZ Torque/BOA Winch Handle - 16675 - Galv	1	Each		
Z1663	Red/Lime Chevron Decals Installed @ Rear 6"H Slanted 21588 Left & 21589 Right	1	Each		
G-MP	12"H Rail - RS/LS & Bulkhead - Galv 2.5"OD Pipe Uprights & Top Section	1	Each		
Z1091	Upgrade to 4-Light from 2-Light System S/T/T Lights Inside & Outside ----- END -----	1	Each		
Z1295	Customer Approval Drawing @ Order	1	Each		
R1150	Sauber License & Title Coordination Service Fee License & Title External Service @ Cost	1	Each		
				0.00	0.00
				Subtotal	38,506.00
				Total Tax	0.00
				Total US Incl. Tax	<u>38,506.00</u>

Regina Kokkinis

From: Dennis Cable
Sent: Friday, April 17, 2026 2:54 PM
To: Dan Gombac; Regina Kokkinis
Cc: Kris Throm
Subject: FW: shoring trailer
Attachments: doc03719820260417145057.pdf

Dan attached is the sole source letter and quote for the shoring trailer quote does not include the plates and title but he projects about \$350. Also I was told that if we can get them a letter of intent before 4/24 this price will hold or will be a 3.5% increase would like to get them letter next week if we are good with quote.

Dennis Cable
Water Department Foreman
(630) 417-5146

-----Original Message-----

From: scanner@darienil.gov <scanner@darienil.gov>
Sent: Friday, April 17, 2026 2:51 PM
To: Dennis Cable <dcable@darienil.gov>
Subject:

TASKalfa 6053ci
[00:17:c8:65:e7:8b]

MOTION NO. _____

AGENDA MEMO
Municipal Services Committee
April 27, 2026

ISSUE STATEMENT

A motion authorizing the purchase of one new ten-ton dovetail trailer, from A&W Truck and Trailer for \$15,248.00. See Exhibit A.

BACKGROUND/HISTORY

The proposed trailer will replace Trailer Unit 301, originally acquired in 2010. This unit has reached the end of its useful service life and is exhibiting significant deterioration, including advanced rusting, degradation of electrical components, and outdated safety features that no longer meet current standards.

The new trailer will support a wide range of operational needs, including the transport of materials such as pipe, concrete manhole structures, sod, and other large or bulky items essential to daily field operations.

Funding for this replacement has been approved and allocated within the FY 2026–2027 budget.

Staff had requested competitive quotes for the trailer and received three. Below please find the results of the competitive quotes for the ten-ton dovetail trailer.

VENDOR	MODEL NO	COST
A &W Auto Truck Trailer	10 Ton Dovetail Trailer	\$ 15,248.00
Rondo Enterprises, Inc.	9 Ton Dovetail Trailer	\$ 16,834.78
Big Tex Trailer World	9 Ton Dovetail Trailer	\$ 16,881.00

The proposed item would be expended from the following account:

ACCOUNT NUMBER	ACCOUNT DESCRIPTION	FY26-27 BUDGET	PROPOSED EXPENDITURE
01-30-4815	Street Dept. - Capital Equipment Trailer unit 301	\$15,000.00	\$15,248.00

STAFF RECOMMENDATION

Staff recommends authorizing the purchase of one new ten-ton dovetail trailer, from A&W Truck and Trailer for \$15,248.00.

ALTERNATE CONSIDERATION

Not approving this item at this time.

DECISION MODE

This item will be placed on the May 4, 2026 City Council agenda for formal consideration.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE
COUNTY, ILLINOIS, this 4th day of May 2026.**

AYES: _____

NAYS: _____

ABSENT: _____

ORDER / QUOTE

CUSTOMER: CITY OF DARIEN	

Date: 4-16-26	Serial #: _____
P.O. # _____	WINSTON 10 TON DECKOVER

NO.

A&W Auto Truck & Trailer

17W411 North Frontage Road
Darien, IL 60561

(630) 964-8897
(800) 258-6408
Fax (630) 964-4644

STANDARDS:	
MODEL #	10 TON DUAL TANDEM
Axle	10,000 LBS X2
Brakes	ELECTRIC
Hitch	ADJUSTABLE HD PINTLE
Jack	DUAL JACKS
Tires	DUALY 235/80R16
Wheels	STEEL MOD
Frame	I-BEAM
Floor	OAK DECKING 2"
CXM's	STRUCTURAL CHANNEL
Sidewall	STAKE POCKET/RUBRAIL
Side Door	N/A
Rear Door	5' DOVETAIL
Rear Ramps	5' FOLD FLAT RAMPS
Color Body	BLACK
Wrap & Cap	N/A
Inside Height	N/A
Inside Length	20' FLAT+5' DOVETAIL (25)
	SPRING ASSIST RAMPS
	LED LIGHTS

1.	DUAL JACKS	
2.	ADJUSTABLE RAMPS	
3.	SPARE TIRE CARRIER (NO SPARE)	
4.		
5.		
6.		
7.		
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11.		
12.		
13.		
14.		
15.		
16.		
17.		
18.		
19.		
20.		
TOTAL		\$15,000.00

TRAILER PRINT NEEDED

YES

 NO

Sales Tax	EXEMPT
License & Title	\$8 "M PLATE" TITLE \$165
Doc. Fee	\$50 ELEC FILING \$25
TOTAL	\$ 15,248.00

APPROVED: _____ DATE: _____

MOTION NO. _____

AGENDA MEMO
Municipal Services Committee
April 27, 2026

ISSUE STATEMENT

A motion authorizing a proposal for retrofitting the reheat coils on the Variable Air Volume (VAV) Boxes for the Police Department HVAC system, to Amber Mechanical Contractors in an amount not to exceed \$20,532.56. See Exhibit A.

BACKGROUND

The HVAC system was upgraded and replaced in 2017 by Amber Mechanical. Since installation, the improvements have proven beneficial, and the system has generally continued to function well. Amber Mechanical has also maintained the system under an ongoing maintenance agreement.

However, over the past two years, the frequency of system alarms has increased, particularly during seasonal temperature fluctuations. These alarms have caused intermittent system shutdowns, impacting overall performance.

Following evaluation by Amber Mechanical and Carrier representatives, the issue has been attributed to malfunctioning Variable Air Volume (VAV) units, which now require further maintenance. VAV units regulate the amount of conditioned air supplied to specific building zones by modulating airflow to maintain temperature setpoints efficiently. These systems typically use a motorized damper to control airflow at a constant air temperature and include reheat coils to satisfy the desired zone/room temperatures.

The building contains 20 VAV units serving designated zones, all located above ceilings within the concealed ductwork. During the 2017 retrofit, the VAV units were cleaned using compressed air. The existing heating coil elements are currently hard-piped, which makes routine maintenance more difficult.

Staff recommends reinstalling the heating coil elements with unions to allow for easier removal and future maintenance. Industry best practice calls for periodic removal every few years of the hot water heating coils to allow for thorough cleaning.

Proposed Scope of Work for the 20 VAV Units:

- Provide necessary fittings and labor
- Isolate and remove heating coils
- Pressure wash coils
- Reinstall coils with couplings
- Purge boiler system and associated components
- Perform operational review of each VAV unit

The funding for the HVAC would be expended from the below line item account. A contingency is further included for any additional repairs that may be required. Further contingencies for the subsequent years will be reviewed on annual basis for budget consideration.

ACCOUNT NUMBER	ACCOUNT DESCRIPTION	FY 26-27 BUDGET	PROPOSED EXPENDITURE	PROPOSED BALANCE
01-30-4223	Police Dept. HVAC Maint	\$37,000	\$10,266.28	\$26,733.72
02-30-4223	Police Dept. HVAC Maint	\$37,000	\$10,266.28	\$26,733.72
TOTALS		N/A	*\$20,532.56	N/A

*Pricing includes a 10% discount per the agreement on file

Please note that this repair expenditure was not anticipated in the FY2026/2027 budget. The total allocation for the FY2026/2027 funds is \$422,360 and 471,570 respectively. Staff will evaluate opportunities throughout the year to identify cost savings to offset the proposed expenditure.

STAFF RECOMMENDATION

Staff recommends approving the motion authorizing a proposal for retrofitting the reheat coils on the Variable Air Volume (VAV) Boxes for the Police Department HVAC system, to Amber Mechanical Contractors in an amount not to exceed \$20,532.56.

ALTERNATE CONSIDERATION

As directed by the Committee

DECISION MODE

This item will be placed on the May 4, 2026 City Council agenda for formal consideration.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 4th day of May 2026.

AYES: _____
 NAYS: _____
 ABSENT: _____



AMBER MECHANICAL CONTRACTORS, INC.

11950 SOUTH CENTRAL AVENUE
ALSIP, IL 60803-3402
PHONE: 708-597-9700
FAX: 708-371-1693

Date: March 26th, 2026

Darien Police Department
1710 Plainfield Rd
Darien, IL 60561

Attn: Kris Throm

Dear Kris,

Recently while providing service at the above referenced address, Victor recommends removing and pressure washing the reheat coils on all 20 VAV boxes and **reinstalling with unions**. We are pleased for the opportunity to quote you on this.

Pressure wash coils and reinstall with unions

- Isolate, drain and remove heating coil from every VAV box.
- Pressure wash all coils
- Reinstall coils and pipe back in **with unions**
- Refill coils and bleed air from coils
- Operational check of the systems.
- Necessary labor to perform repairs.

Repair Cost: \$22,813.96
-10% Discount

Total: \$20,532.56 Initials _____

There is a 1 to 2 day lead time for parts.

All quoted work is to be performed under regular service hours, Monday - Friday between 7am - 4pm.

Freight charges if applicable are not included in the above price.

Payment in full upon completion.

This price is good for 10 days.

If you have any questions please feel free to call.

Acceptance Date: _____
Darien Police Department

Title: _____

Respectfully Submitted:
Amber Mechanical Contractors, Inc.

Alyssa Cornfield
Service Coordinator

hearing, the variation was not considered during the approval.

PROPOSAL

The petitioner, in cooperation with the adjacent property owners to the south of the site, proposes to plant a row of dense Emerald Green arborvitae, spaced 4-feet apart on center, in lieu of the required fence (see Attachment B). Staff are under the assumption that the proposed conditions are what the two parties have agreed to. No other modification to the previously approved plans are proposed.

ANALYSIS

A) Variation

Section 5A-5-8-3(A)(1) of the Darien Zoning Code states that “*Where a lot in the business or office- industrial district adjoins a lot in a residential district, a fence is required [...].*” In order to allow the proposed landscaping, a variation from this section is required.

Findings of Fact: City staff has reviewed the petitioner submitted documents. The petitioner did not provide a justification letter, however as stated earlier, the public requested on numerous occasions during the public hearing process that a fence not be required, and that landscaping be provided. As this is the condition being requested by the affected property owners, staff support the variation request. For reference, the criteria the Planning and Zoning Commission and City Council votes on for City Variation requests are included below.

Variation Criteria:

The City may grant variations based on the finding-of-fact that supports the following criteria outlined below by the City to be the most relevant to the subject property situation.

- a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.*
- b) The plight of the owner is due to unique circumstances.*
- c) The variation if granted will not alter the essential character of the locality.*
- d) Essential Need: The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.*
- e) Problem with Property: There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with this title. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.*
- f) Smallest Solution: There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.*
- g) Create Neighbor Problem: The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.*
- h) Create Community Problem: The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.*
- i) Net Benefit: The positive impacts to the community outweigh the negative impacts.*
- j) Sacrifice Basic Protections: The variation, if granted, will comply with the purposes and intent of this title set forth in subsection 5A-1-2(A) of this title and summarized as follows:*

to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

B) Public Comment / Outreach

Pursuant to City Code and Illinois Statutes, a public notice was published and mail notices were sent to all property owners, business owners and occupants within 250 feet of the subject property. At the time of publication of this staff report, no public comments have been received.

PZC MEETING 04/15/2026

This item was reviewed by the Planning, Zoning Economic Development Commission at its April 15, 2026 meeting. The petitioner and members of the public were present. Residents and the petitioner spoke in favor of the project. **Following deliberation, the Commission voted 7-0 to recommend approval of the project to City Council.**

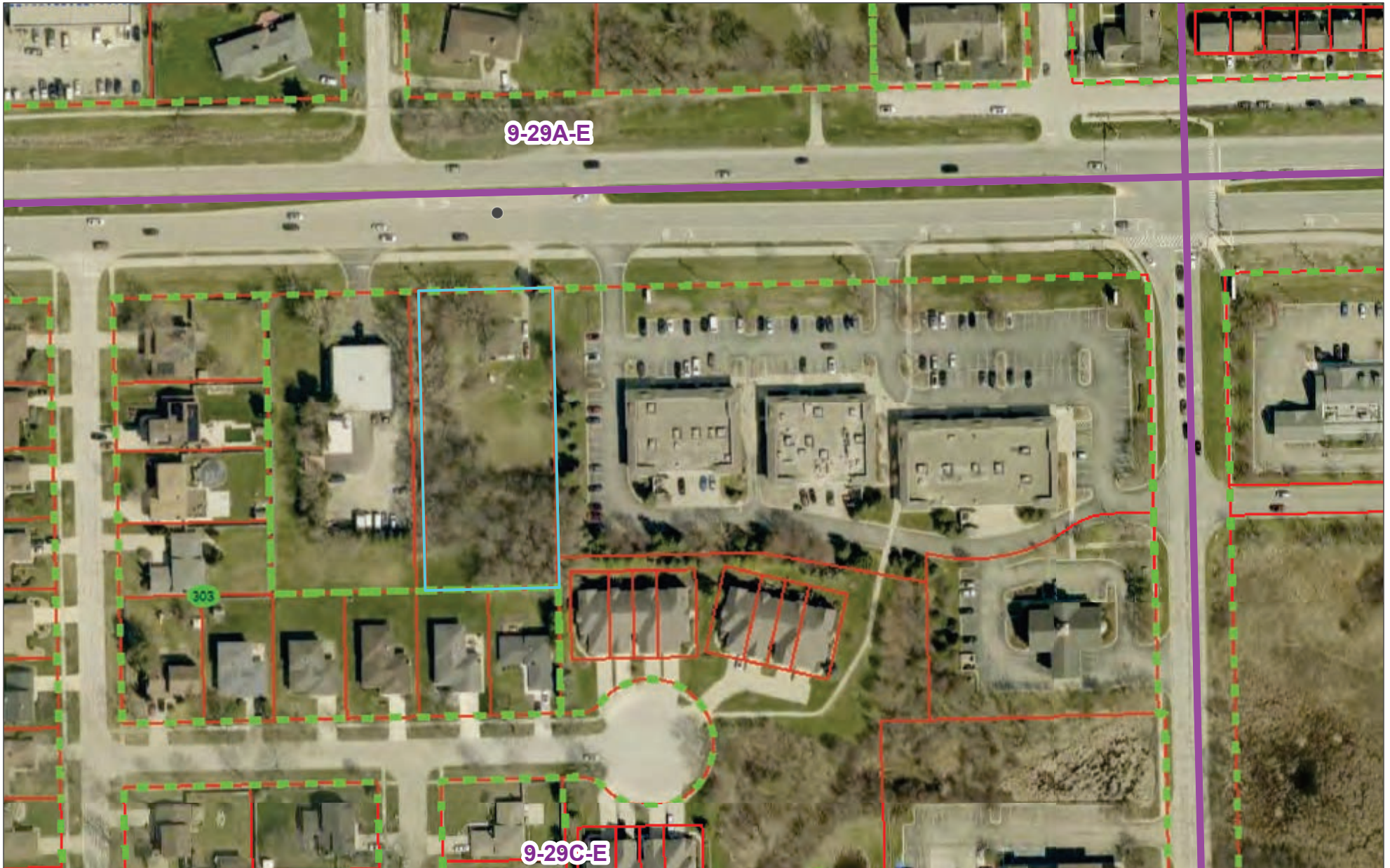
DECISION MODE

The Municipal Services Committee will consider this item at its meeting on April 27, 2026.

MEETING SCHEDULE

Municipal Services Committee
City Council

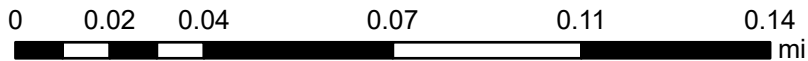
April 27, 2026
May 4, 2026



9-29A-E

303

9-29C-E



DuPage County
 Information Technology Department / GIS Division
 421 N County Farm Rd.
 Wheaton, IL 60187

Phone: 1(630)407-5000
 Email: gis@dupageco.org

DuPage Maps Portal :
<https://www.dupage.maps.arcgis.com/home>

This map is for assessment purposes only.

DuPage County Web Site :
<https://www.dupagecounty.gov>



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- DuPage County
- Townships
- Sections
- Quarter Sections
- Half Quarter Sections

Regional County Boundaries

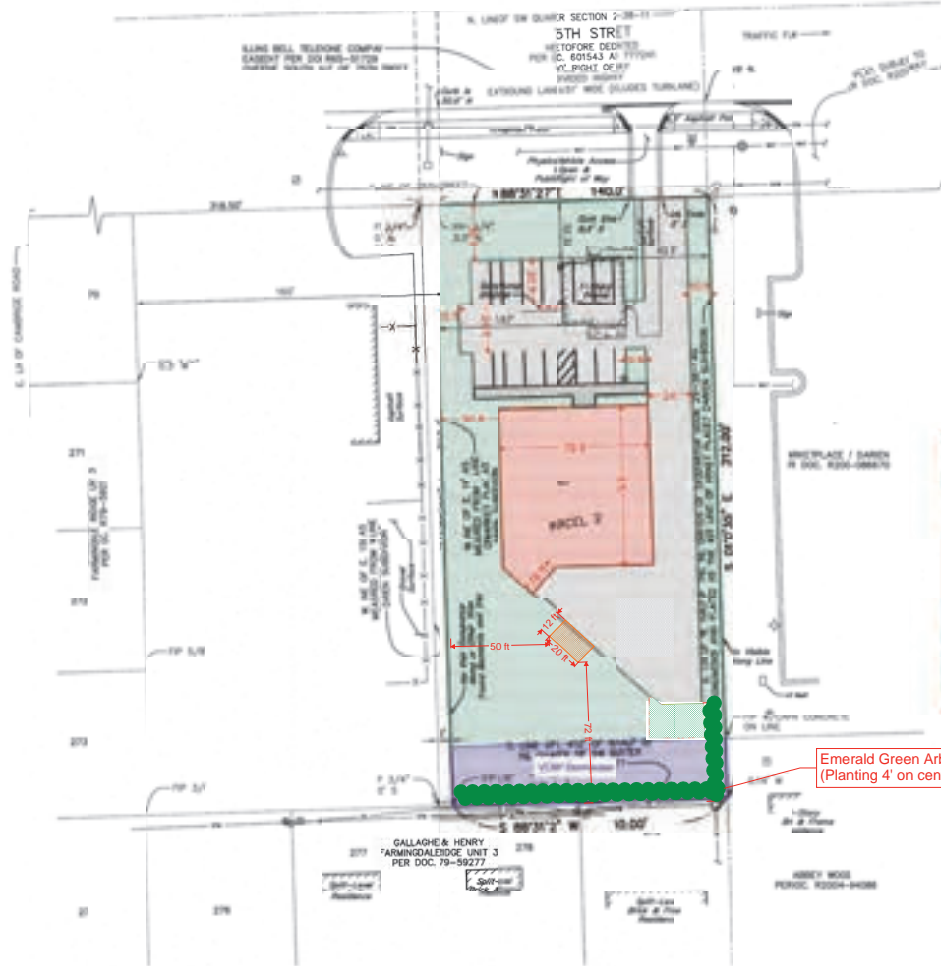
- COOK
- KANE
- KENDALL
- LAKE

Rezoning and Development 2505 75th Street, Darien IL



VICINITY MAP

SITI



DATA TABLE

EXISTING IMPERVIOUS	2,011 SF
PROPOSED IMPERVIOUS	21,211 SF
NET INCREASE	20,451 SF
ADJACENT	11 STALLS
PARKING	16 STALLS
Warehouse	6,000 sf
Office	2,000 sf - 8 stalls
Mezzanine	650 sf - 3 stalls

Emerald Green Arborvitae
(Planting 4' on center)

LINE/SYMBOL/ABBREVIATION LEGEND

- BOUNDARY LIMITS
- ADJACENT PROPERTY R.O.G.M. L.C.
- OVERHEAD WIRES
- UNDERGROUND SANITARY LINE
- UNDERGROUND WATERLINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND FIBERLINE
- FENCE
- CABLE TELEPHONE
- ELECTROMETER
- ELECTROPEDESTAL
- FIRE HYDRANT
- GAS METER
- INLET
- WALKWAY
- SANITARY MANHOLE
- SEPTIC TANK
- SEWER
- TELEPHONE PEDESTAL
- UTILITY POLE
- GUY WIRE
- WATER LINE
- WELL HEAD
- CONCRETE SURFACE
- R.O.G. RIGHT OF WAY
- B-B BACK-TO-BACK
- E-E EDGE-TO-EDGE

SCALE: 1" = 30' FEET

AGENDA MEMO
MUNICIPAL SERVICES COMMITTEE
APRIL 27, 2026

CASE

PZC-26-5

Special Use, & Variations – Time Extension
 (Indvestia Darien, LLC – 7409 Cass Avenue)

ISSUE STATEMENT

Petition from Indvestia Darien LLC for a one-year extension of time for a special use permit and variations for the construction of a quick service drive-through eating establishment offering retail food items for consumption at 7409 Cass Avenue. The Property is located within the B-2 Community Shopping Center Business District.

GENERAL INFORMATION

Petitioner:	Indvestia Darien, LLC c/o Vick Mehta
Property Owner:	Indvestia Darien, LLC
Property Location:	7409 Cass Avenue
PIN Numbers:	09-27-108-029; 09-27-108-033
Existing Zoning:	Community Shopping Center Business District (B-2)
Existing Land Use:	Shopping Center
Comprehensive Plan:	Commercial (Existing); Commercial (Future)
	<u>Key Development Area #3:</u> Recommended for infill development, including additional retail and shopping uses, pedestrian-oriented and mixed-use design, and outdoor dining.
 Surrounding Zoning & Uses	
North:	Community Shopping Center Business District (B-2); Jewel-Osco Center
East:	Single Family Residence District (R-2); Single Family
South:	Multi-Family Residence District (R-3); Colonial Manor Apartments
West:	Community Shopping Center Business District (B-2); Taco Bell and Buona Beef
Size of Property:	4.74 Acres
Floodplain:	N/A
Natural Features:	N/A
Transportation:	The petition site gains access from 75 th Street via multiple ingress/egress points and from Cass Avenue via one ingress/egress point.

ATTACHMENTS

- 1) LOCATION MAP AND AERIAL PHOTO
- 2) ORDINANCE O-02-04
- 3) SITE PLAN
- 4) FINAL PLAT OF SUBDIVISION (FOR REFERENCE)
- 5) BUILDING RENDERINGS
- 6) TRAFFIC STUDY
- 7) SPECIAL USE AND VARIATION CRITERIA

BACKGROUND/OVERVIEW

The subject property is located off the northeastern corner of the 75th Street and Cass Avenue intersection (see Attachment 1). The petition site totals 4.74 acres in size and is zoned Community Shopping Center Business District (B-2). It is part of an overall larger shopping center with outlots which is commonly known as the Jewel-Osco Center. While the overall center is comprised of several parcels and businesses, the petition site for this case is the property including Chuck E. Cheese, the former American Freight, World Star Nails, and Concentra Urgent Care.

On March 4, 2025, the Darien City Council adopted Ordinance O-02-04, approving a request for a final plat of subdivision, a special use permit and variations for the construction of a speculative quick service drive-through eating establishment offering retail food items for consumption at 7409 Cass Avenue (see Attachments 2 through 6). The final plat of subdivision does not expire; however the underlying entitlements require an extension of time if they are to remain valid. An extension of time was approved by the City Council last year, and an additional extension is being requested. During this time, the property has been marketed for ground lease and development, and there is currently a drive-through coffee shack under contract to develop and lease the property.

ANALYSIS**A) Special Use and Variations**

Given the project layout with new lot lines and building construction, the petitioner previously requested variations as part of the entitlement application. Below is a list of applicable code sections applicable:

- Zoning Sections 5A-5-5(A) & 5A-8-3-6
Minimum Lot Area (2 Acres Min.) and Principal Buildings/Uses on One Lot
- Zoning Section 5A-8-3-8
Front, Side, and Rear Yard Requirements (B-2 District)
- Zoning Section 5A-8-3-9
FAR and Lot Coverage (Existing Conditions)
- Zoning Sections 5A-11-2-2 & 5A-11-5
Minimum Parking Requirements and Drive-Through Stacking Spaces (15 Space Min.)

For a summary on parking counts, setbacks, and other ordinance standards, please refer to the site plan, which includes a code compliance table. The site plan also illustrates the building with drive-through circulation including the stacking spaces, and the renderings show the speculative building's appearance, and the plat of subdivision details the new lot layout.

Site Plan Review & Findings of Fact: City staff has reviewed the petitioner submitted documents. The petitioner will be required to submit engineering plans and a building permit if the case is approved, with architect stamped and signed plans.

For reference, the sets of criteria the Planning, Zoning, and Economic Development Commission and City Council votes on for the special use and variation requests are included as Attachment 7.

B) Extension of Time Request

In accordance with Sections 5A-2-2-3(H)(2) and 5A-2-2-6(I)(4) of the Zoning Code, the Planning, Zoning and Economic Development Commission and the City Council shall consider changed circumstances or experience derived from the exercise of the variation previously granted that would indicate that the continuation of the variation does not carry out the goals of the Code, the effect of changed conditions, if any, upon the property, and whether on account of such conditions and other circumstances, the variation/special use shall be granted an extension of time or revoked.

PZC MEETING 04/15/2026

The Planning, Zoning and Economic Development Commission reviewed this item at its meeting on April 15, 2026. The petitioner and members of the public were present. Following staff’s report, the petitioner addressed the Commission. Staff updated the Commission on a new leaseholder that was reported to be under contract for the site, and answered questions regarding traffic. **Following deliberation, the Commission voted 5-1 to recommend approval of the petition to the City Council.**

DECISION MODE

The Municipal Services Committee will consider this item at its meeting on April 27, 2026.

MEETING SCHEDULE

Municipal Services Committee	April 27, 2026
City Council	May 4, 2026

CITY OF DARIEN
MUNICIPAL SERVICES COMMITTEE
APRIL 27, 2026

LOCATION MAP



Project No.: PZC-26-5 – 7409 Cass Avenue

**CITY OF DARIEN
DU PAGE COUNTY, ILLINOIS**

ORDINANCE NO. 0-02-24

**AN ORDINANCE APPROVING A FINAL PLAT OF SUBDIVISION
AND GRANTING A SPECIAL USE AND VARIATIONS
FROM THE DARIEN ZONING ORDINANCE**

(PZC2024-01: INDVESTIA DARIEN LLC, 7409 CASS AVENUE)

**ADOPTED BY THE
MAYOR AND CITY COUNCIL
OF THE
CITY OF DARIEN
THIS 4th DAY OF MARCH, 2024**

**Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
5th day of March, 2024.**

ORDINANCE NO. 0-02-24

**AN ORDINANCE APPROVING A FINAL PLAT OF SUBDIVISION
AND GRANTING A SPECIAL USE AND VARIATIONS
FROM THE DARIEN ZONING ORDINANCE**

(PZC2024-01: INDVESTIA DARIEN LLC, 7409 CASS AVENUE)

WHEREAS, the City of Darien is a home rule unit of local government pursuant to the provisions of Article VII, Section 6 of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of local government, the City may exercise any power and perform any function pertaining to its government except as limited by Article VII, Section 6; and

WHEREAS, the property legally described in Section 1 (the “Subject Property”), is zoned B-2 Community Shopping Center Business District pursuant to the Darien Zoning Ordinance; and

WHEREAS, the petitioner has requested approval of a Final Plat of Subdivision, special use, and variations from the Darien Zoning Ordinance to construct a quick service drive-through eating establishment on a new lot; and

WHEREAS, pursuant to notice as required by law, the City’s Planning and Zoning Commission conducted a public hearing on February 7, 2024, and has forwarded its findings and recommendation of approval of this petition to the City Council; and

WHEREAS, on February 26, 2024, the City’s Municipal Services Committee reviewed the petition and has forwarded its recommendation of approval of this petition to the City Council; and

WHEREAS, the City Council has reviewed the findings and recommendations described above and now determines to grant the petition subject to the terms, conditions, and limitations described herein below;

ORDINANCE NO. 0-02-24

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, ILLINOIS, as follows:

SECTION 1: Subject Property. This Ordinance is limited and restricted to the property generally located at 7409 Cass Avenue, Darien, Illinois, and legally described as follows:

PARCEL 1: LOT ONE IN DARIEN ASSOCIATES SUBDIVISION OF PART OF THE NORTHWEST QUARTER (1/4) OF SECTION 27, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 8, 2016 AS DOCUMENT R2016-69588, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: NON-EXCLUSIVE IN FAVOR OF PARCEL 1 CREATED BY RECIPROCAL EASEMENT AGREEMENT RECORDED MARCH 7, 1985 AS DOCUMENT R85-15852 AS AMENDED BY FIRST AMENDMENT TO RECIPROCAL EASEMENT AGREEMENT RECORDED JULY 23, 1998 AS DOCUMENT R98-147018 TO USE THE DRIVEWAYS, SERVICE DRIVES AND OTHER PARKING FACILITIES WHICH MAY EXIST FROM TIME TO TIME.

PARCEL 3: THE WEST 145.0 FEET OF THE EAST 220.0 FEET OF THE SOUTH 160.0 FEET OF LOT 192 IN HINSBROOK, UNIT #2, A SUBDIVISION OF PART OF THE NORTH WEST QUARTER (1/4) OF SECTION 27, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN; IN DUPAGE COUNTY, ILLINOIS. EXCLUDING THAT PORTION FALLING WITHIN THE FOLLOWING PROPERTY CONVEYED TO MCGUE FAMILY, LLC – FARMS, PURSUANT TO TRUSTEES DEED RECORDED OCTOBER 4, 2021, AS DOCUMENT R2021-146795.

PARCEL A: THE WEST 156.07 FEET OF THE SOUTH 208.89 FEET OF THE NORTHWEST QUARTER (1/4) OF SECTION 27, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, (EXCEPTING THEREFROM THAT PART HERETOFORE DEDICATED FOR PUBLIC ROADWAY BY INSTRUMENT RECORDED OCTOBER 11, 1971 AS DOCUMENT R71-54639.

PARCEL B: THAT PART OF LOT 192 IN HINSBROOK UNIT 2, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER (1/4) OF SECTION 27, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 25, 1966 AS DOCUMENT R66-6422 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 192; THENCE WEST ALONG THE SOUTH

ORDINANCE NO. 0-02-24

LINE OF SAID LOT 192 A DISTANCE OF 486.16 FEET TO A POINT 43.93 FEET EAST OF THE WEST LINE OF SAID LOT 192 FOR A POINT OF BEGINNING; THENCE CONTINUING WEST ALONG THE SOUTH LINE OF SAID LOT 192 FOR A DISTANCE OF 43.93 FEET TO THE WEST LINE OF SAID LOT 192; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 192 A DISTANCE OF 108.89 FEET TO A CORNER OF SAID LOT 192; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 192 FOR A DISTANCE OF 106.07 FEET TO A POINT ON THE WEST LINE OF SAID LOT 192, BEING ALSO ON THE EAST LINE OF CASS AVENUE; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 192 A DISTANCE OF 16.11 FEET; THENCE EAST ALONG A LINE PARALLEL WITH THE SOUTH LINE OF SAID LOT 192 FOR A DISTANCE OF 182.00 FEET; THENCE SOUTH ALONG A LINE PARALLEL WITH THE WEST LINE OF SAID LOT 192 A DISTANCE OF 32.00 FEET; THENCE WEST ALONG A LINE PARALLEL WITH THE SOUTH LINE OF SAID LOT 192 FOR A DISTANCE OF 32.00 FEET; THENCE SOUTH ALONG A LINE PARALLEL WITH THE WEST LINE OF SAID LOT 192 FOR A DISTANCE OF 93.00 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

AND; EXCEPTING THOSE PARTS TAKEN FOR ROAD PURPOSES.

PINs: 09-27-108-029 & 09-27-108-033

SECTION 2: Final Plat of Subdivision Approved. Approval of a Final Plat of Subdivision is hereby granted for Indvestia Subdivision, 1 Sheet, prepared by JLH Land Surveying Inc., latest version dated March 22, 2023. The Final Plat is subject to further review and approval by the City of Darien Community Development Department.

SECTION 3: Special Use Granted. Pursuant to Section 5A-8-3-4 of the Darien Zoning Ordinance, a special use is hereby granted to allow for the construction of a quick service drive-through eating establishment offering retail food or drink items for consumption.

SECTION 4: Variations Granted. The following variations from the Darien City Code are hereby granted for the subject property:

- A. A variation to allow more than one principal building/use on a lot.
- B. A variation to reduce minimum lot area from 2 acres to 1.30 acres.
- C. A variation to reduce front yard setback from 50' to 47.6'.
- D. A variation to reduce side yard setback from 30' to 0'.
- E. A variation to reduce rear yard setback from 30' to 0'.

ORDINANCE NO. 0-02-24

- F. A variation to reduce off-street parking from 176 spaces to 134 spaces.
- G. A variation to reduce the number of drive-through stacking spaces from 15 to 7.

SECTION 5: Conditions. The special use is subject to the following conditions:

- 1) **Proper signage (site/building) is placed for customers to enter and exit the establishment, as determined by staff.**
- 2) **The building shall only be used as an eating establishment in conjunction with drive-through facility.**

SECTION 6: Home Rule. This ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law, or (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the City of Darien that to the extent the terms of this ordinance should be inconsistent with any non-preemptive state law, this ordinance shall supercede state law in that regard within the City of Darien.

SECTION 7: Effective Date. This Ordinance shall be in full force and effect upon its passage, approval, and publication as required by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 4th day of March, 2024.

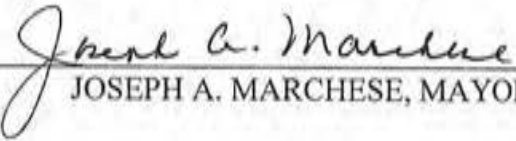
AYES 5 - Belczak, Gustafson, Kenny, Leganski, Stompanato

NAYS: 0 - NONE

ABSENT: 2 - Schauer, Sullivan

ORDINANCE NO. 0-02-24

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY,
ILLINOIS, this 4th day of March, 2024.



JOSEPH A. MARCHESE, MAYOR

ATTEST:



JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY



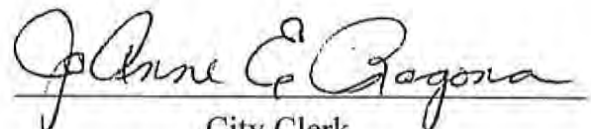
STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

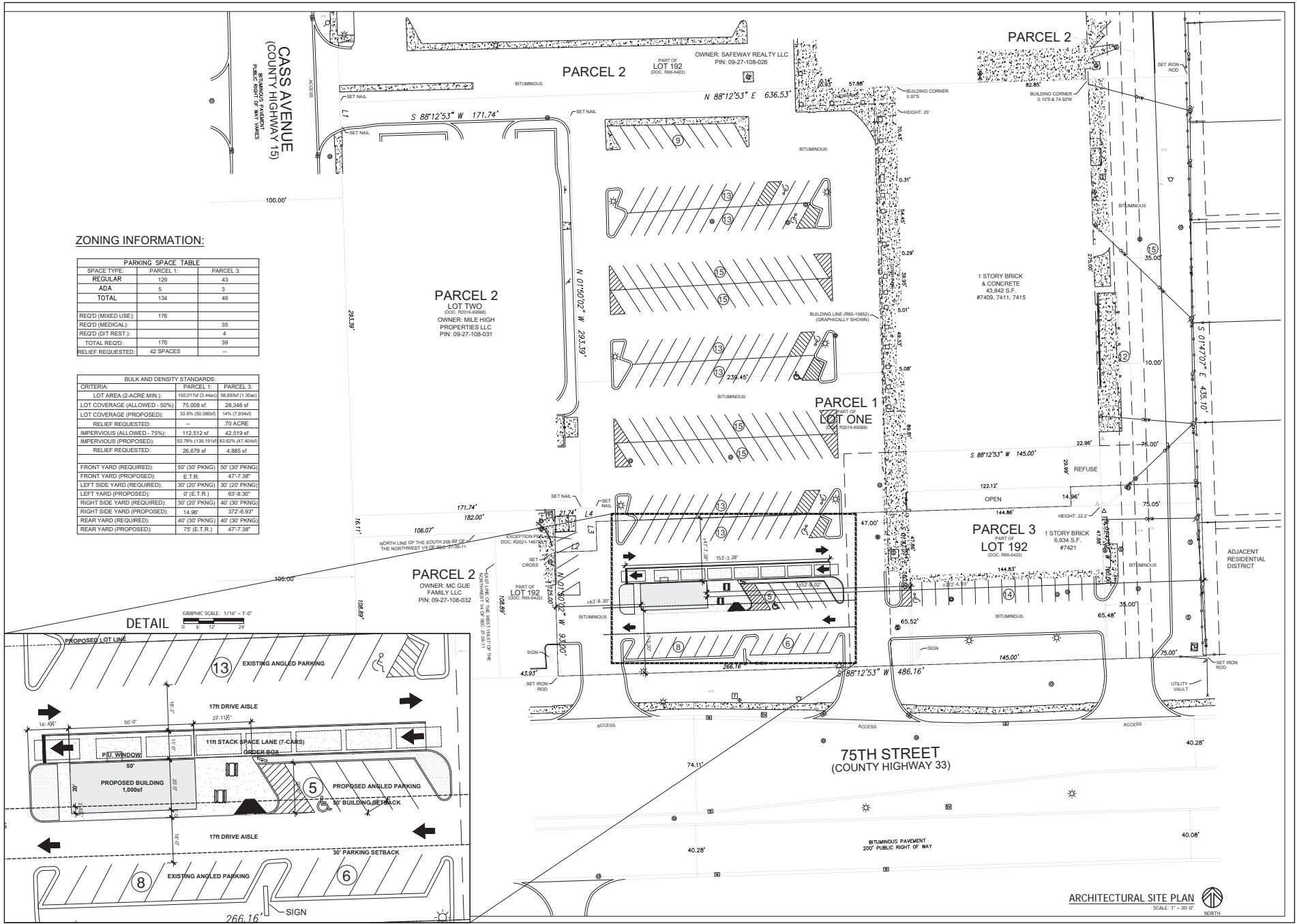
I, JoAnne E. Ragona, do hereby certify that I am the duly qualified CITY CLERK of the CITY OF DARIEN of DuPage County, Illinois, and as such officer I am the keeper of the records and files of the City;

I do further certify that the foregoing constitutes a full, true and correct copy of **ORDINANCE NO. O-02-24 “AN ORDINANCE APPROVING A FINAL PLAT OF SUBDIVISION AND GRANTING A SPECIAL USE AND VARIATIONS FROM THE DARIEN ZONING ORDINANCE (PZC2024-01: INDVESTIA DARIEN LLC, 7409 CASS AVENUE)”** of The City of Darien, Du Page County, Illinois, Duly Passed and Approved by the Mayor and City Council at a Meeting Held on March 4, 2024.

IN WITNESS WHEREOF, I have hereunto affixed my official hand and seal this 4th day of March, 2024.




City Clerk



ZONING INFORMATION:

PARKING SPACE TABLE		
SPACE TYPE:	PARCEL 1:	PARCEL 3:
REGULAR	129	43
ADA	5	3
TOTAL	134	46
REQ'D (MIXED USE):	176	
REQ'D (MEDICAL):		35
REQ'D (D/T REST.):		4
TOTAL REQ'D:	176	39
RELIEF REQUESTED:	42 SPACES	--

BULK AND DENSITY STANDARDS		
CRITERIA:	PARCEL 1:	PARCEL 3:
LOT AREA (2-ACRE MIN.):	150,017.72 (3.44ac)	96,693.72 (1.30ac)
LOT COVERAGE (ALLOWED - 50%):	75,008 sf	28,346 sf
LOT COVERAGE (PROPOSED):	33.6% (50,380sf)	14% (7,934sf)
RELIEF REQUESTED:	--	70 ACRE
IMPERVIOUS (ALLOWED - 75%):	112,512 sf	42,519 sf
IMPERVIOUS (PROPOSED):	92,796 (138,191sf)	63,226 (97,454sf)
RELIEF REQUESTED:	26,679 sf	4,885 sf
FRONT YARD (REQUIRED):	50' (30' PKNG)	50' (30' PKNG)
FRONT YARD (PROPOSED):	E.T.R.	47'-7.38"
LEFT SIDE YARD (REQUIRED):	30' (20' PKNG)	30' (20' PKNG)
LEFT SIDE YARD (PROPOSED):	0' (E.T.R.)	63'-8.30"
RIGHT SIDE YARD (REQUIRED):	30' (20' PKNG)	40' (30' PKNG)
RIGHT SIDE YARD (PROPOSED):	14.96'	372'-6.93"
REAR YARD (REQUIRED):	40' (30' PKNG)	40' (30' PKNG)
REAR YARD (PROPOSED):	75' (E.T.R.)	47'-7.38"



SUBMITTAL HISTORY:	
REV.	DATE
1	JAN 19, 2024
2	FPC SUBMITTAL

cj architects, inc.
 Danien, IL
 773.383.6556
 DESIGN FIRM PROF. REG. #: 184.005807

NEW SPECULATIVE BUILDING
 O.S.R. WITH DRIVE-THRU
 7407 CASS AVE.
 DARIEN, IL 60551
 PROJECT CODE: NC-23.02

SHEET NAME
 ARCHITECTURAL
 SITE PLAN

ISSUED FOR REVIEW
SA-1.1
 1.18.2024

ARCHITECTURAL SITE PLAN
 SCALE: 1" = 30' 0"
 NORTH

FINAL PLAT OF INDVESTIA SUBDIVISION

BEING A RESUBDIVISION OF PART OF LOT ONE IN DARIEN ASSOCIATES SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED JULY 8, 2016 AS DOCUMENT R2016-69588, IN DUPAGE COUNTY, ILLINOIS AND A PART OF LOT 192 IN HINSBROOK, UNIT #2, A SUBDIVISION OF PART OF THE NORTH WEST QUARTER OF SECTION 27, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, DO HEREBY CERTIFY THAT THE REQUIRED LETTER OF CREDIT IS POSTED FOR THE COMPLETION OF THE IMPROVEMENT COVERING SANITARY SEWERAGE SYSTEM AND/OR SEWER LINES AND DOMESTIC WATER SUPPLY SYSTEM AND/OR DISTRIBUTION LINES UNDER MY JURISDICTION BASED ON APPROVED ENGINEER'S PLAN AND SPECIFICATIONS PREPARED BY A REGISTERED ENGINEER.

COUNTY SUPERINTENDENT OF PUBLIC WORKS DEPARTMENT

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
APPROVED BY THE PLAN COMMISSION OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS THIS DAY OF 20.

CHAIRMAN

OWNER OR ATTORNEY
REGISTERED PROFESSIONAL ENGINEER

CITY ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
I, CITY ENGINEER OF THE CITY OF DARIEN, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE ANNEXED PLAT AND THE PLANS AND SPECIFICATIONS THEREFOR MEET THE MINIMUM REQUIREMENTS OF SAID CITY AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREIN.

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY KNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ADDRESS
DATED THIS DAY OF A.D. 20.

NOTARY'S CERTIFICATE

STATE OF)
COUNTY OF)
I, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

NOTARY PUBLIC SIGNATURE
MY COMMISSION EXPIRES ON MONTH A.D. 20.

STATE LETTER REQUIREMENT

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS DAY OF 20.

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, CITY TREASURER OF THE CITY OF DARIEN, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OF ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT DARIEN, DUPAGE COUNTY, ILLINOIS THIS DAY OF 20.

RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WINNEBAGO)
FILED FOR RECORD THIS DAY OF AT O'CLOCK M., RECORDED IN BOOK OF PLATS, PAGE AND EXAMINED.

LORI GUMMOW, WINNEBAGO COUNTY RECORDER

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL)
THIS IS TO CERTIFY THAT I, JAMES L. HARPOLE, REGISTERED ILLINOIS LAND SURVEYOR NO. 3190, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING PROPERTY: LOT ONE IN DARIEN ASSOCIATES SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 8, 2016 AS DOCUMENT R2016-69588, IN DUPAGE COUNTY, ILLINOIS.

EXCLUDING THAT PORTION FALLING WITHIN THE FOLLOWING PROPERTY CONVEYED TO MCCUE FAMILY, LLC - FARMS, PURSUANT TO TRUSTEES DEED RECORDED OCTOBER 4, 2021, AS DOCUMENT R2021-140795.

AS SHOWN BY THE ANNEXED PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION, ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF DARIEN RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN PREPARATION OF THIS PLAT.

CONTAINING 56,692.89 SF. FT., OR 1.30 ACRES.
DIMENSIONS ARE GIVEN IN FEET AND DECIMALS OF A FOOT.

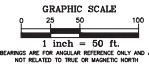
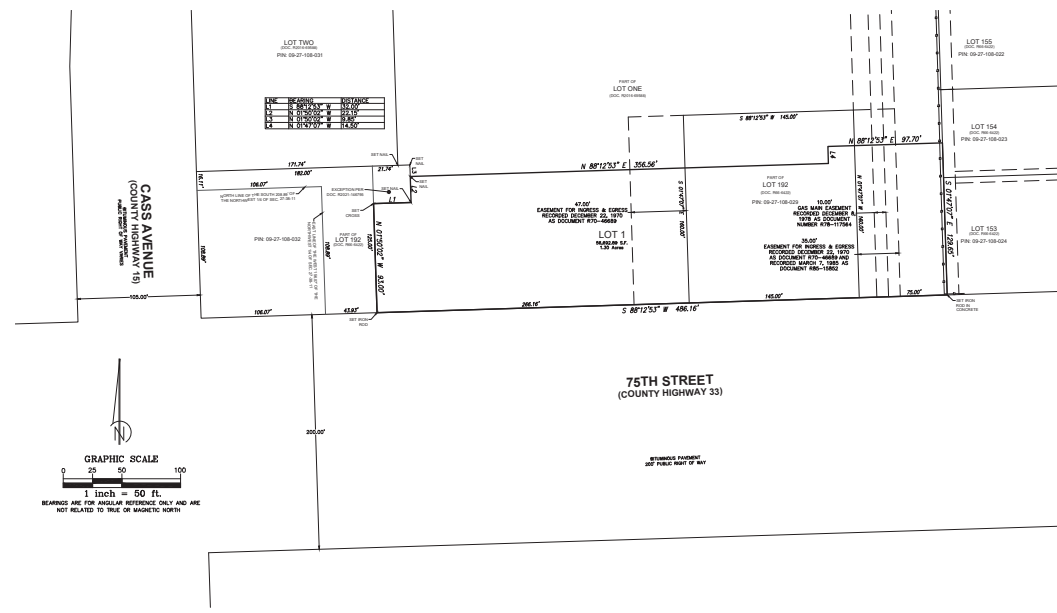
I HEREBY CERTIFY THAT NONE OF THE PROPERTY COVERED BY THIS PLAT IS SITUATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF DARIEN ON PANEL NO. 17043C018AD, DATED AUGUST 1, 2019.

THE BASIS FOR ALL BEARINGS ARE ILLINOIS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD) 1983, EAST ZONE.

GIVEN UNDER MY HAND AND SEAL THIS DAY OF 20, AT SHOREWOOD, IL.

PRELIMINARY

JAMES L. HARPOLE
ILLINOIS PROFESSIONAL LAND SURVEYOR # 035-0406
LICENSE EXPIRES NOVEMBER 30, A.D., 2024.



JLH LAND SURVEYING INC.
Illinois Professional Design Firm No. 184,007,20
910 Geneva Street, Shorewood, Illinois 60404
615.228.8000 www.jlhlansurvey.com

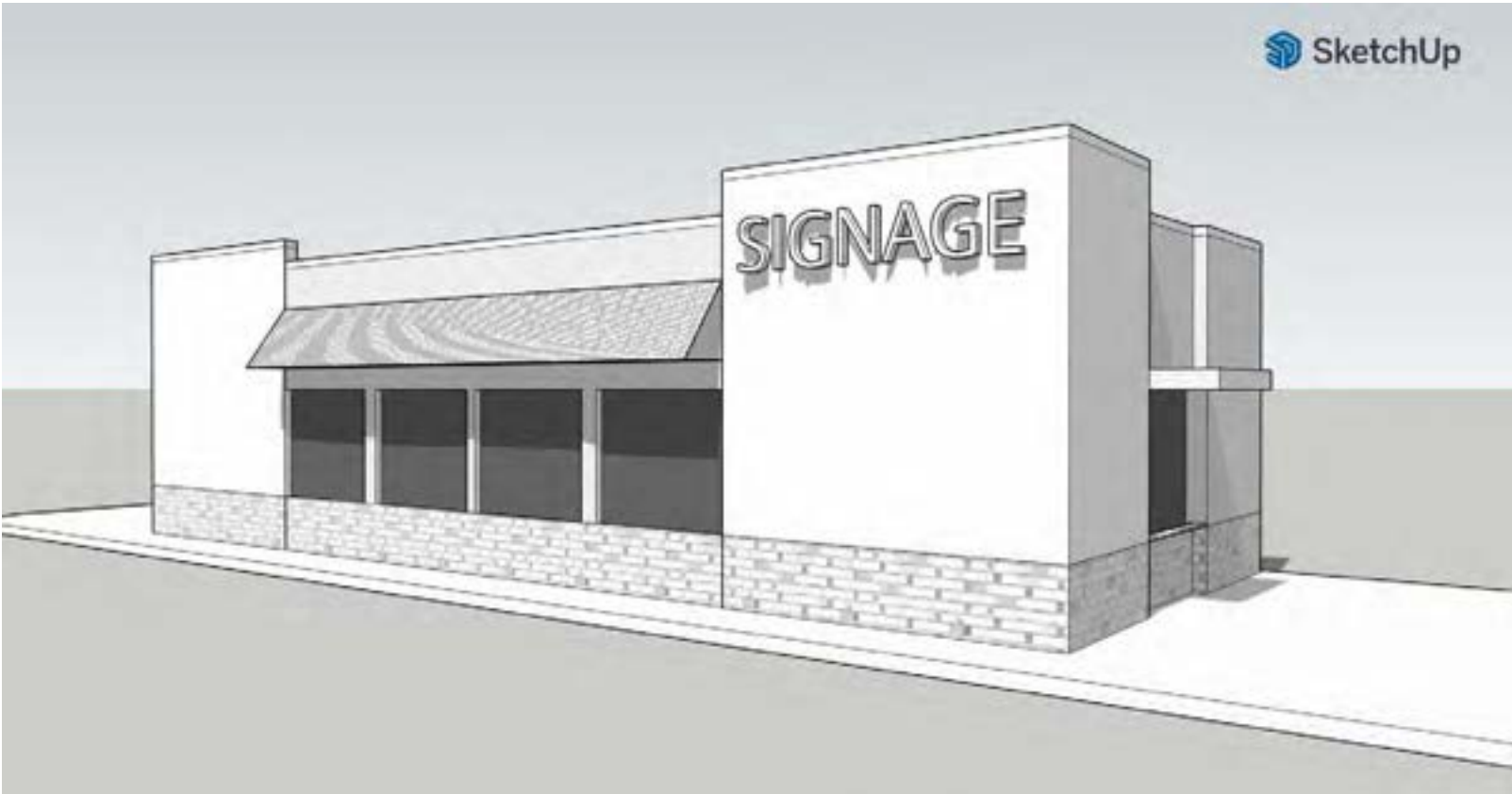


SURVEY PREPARED FOR:
INVESTIA DARIEN LLC
718 OGDEN AVENUE
DOWNERS GROVE, IL 60515

Table with columns for DATE and REVIEWER. Includes a signature line for the Surveyor.

PLAT OF SUBDIVISION
7409 CASS AVENUE
DARIEN, ILLINOIS

PROJ. MGR. JAH
DRAWN BY JAH
CHECK BY JAH
FIELD DATE 03/22/23
SCALE 1" = 60'
SHEET 1 OF 1
23-1239-100A



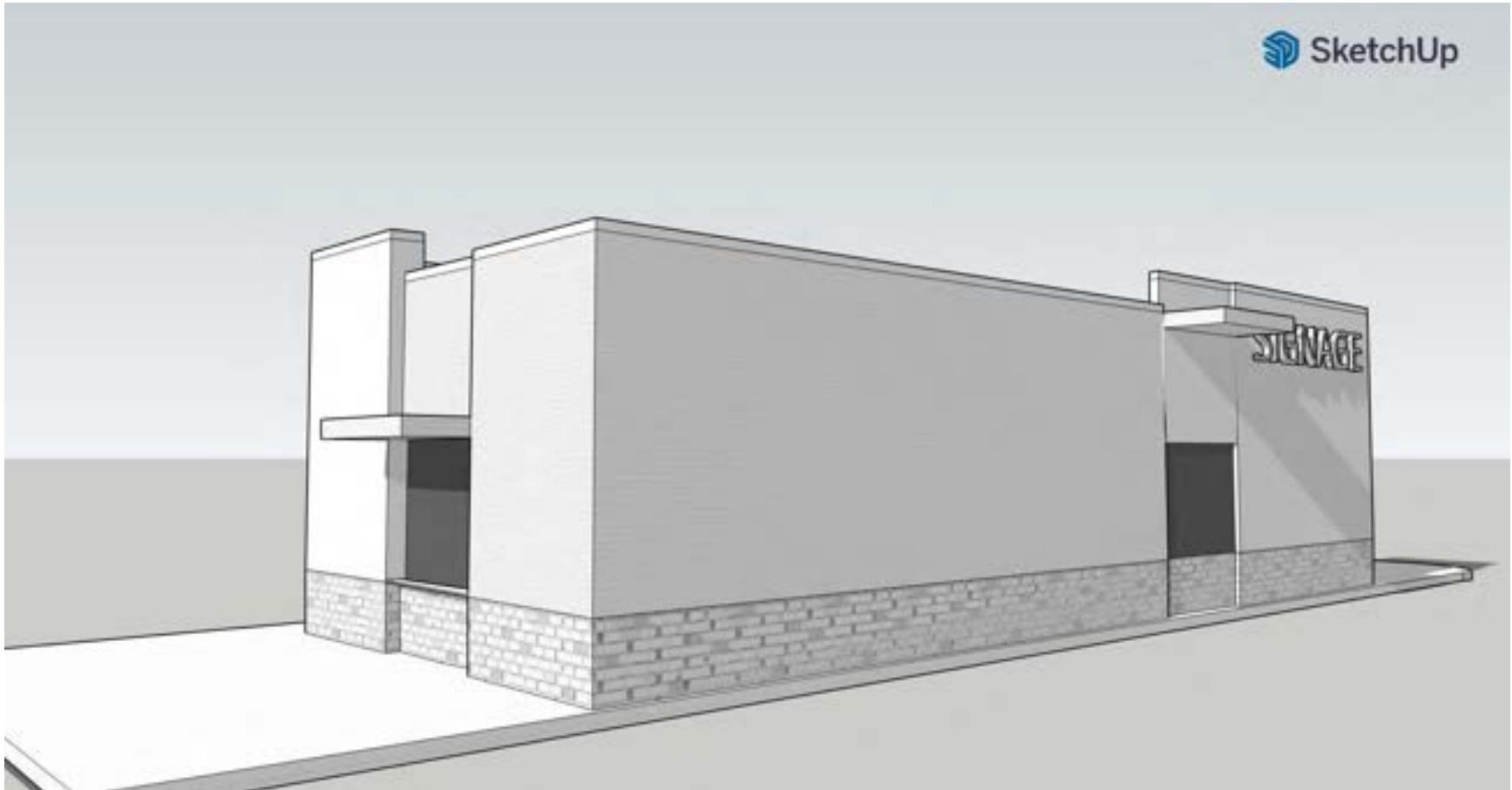
SOUTH / EAST FAÇADES



SOUTH / WEST FAÇADES



NORTH / WEST FAÇADES



NORTH / EAST FAÇADES



TECHNICAL MEMORANDUM

DATE: January 16, 2024

TO: Christopher A. Jackson, CJ Architects, Inc.

FROM: Peter Reinhofer, P.E., V3 Companies

RE: **Proposed Quick-Service Facility Technical Memorandum**
75th Street & Cass Avenue, Darien Illinois

V3 Companies has been retained by CJ Architects to conduct a trip generation study for a proposed quick-service restaurant with a drive-through and no indoor seating located in the existing parking lot at the northeast corner of the intersection of 75th Street and Cass Avenue in Darien, Illinois. The site currently consists of a multiple building retail center with outlots and surface parking lots. The proposed development will replace 30 surface parking stalls with a 1,000 square foot building intended to be a pre-order pick-up concept in the quick service, fast casual restaurant space. A drive through window and an outdoor patio will also be provided with five parking spaces.

There are currently five access driveways to the retail center, two full access driveways and one right in/right out driveway on Cass Avenue and three right in/right out driveways on 75th Street. The proposed building would be accessible from all three driveways. A site location map and conceptual site plan are attached.

The purpose of this Technical Memorandum is to evaluate the potential traffic impacts of the proposed quick-service outbuilding. This Technical Memorandum will evaluate the existing conditions around the site and estimate the number of vehicle trips generated by the proposed development.

Project Conditions

Cass Avenue is a north-south roadway that is classified as a minor arterial and typically provides two travel lanes in each direction with a two-way left turn lanes that provides access to local streets and residential and commercial driveways. Cass Avenue has sidewalks along the east and west side of the roadway and a posted limit of 35 mph. Cass Avenue is under DuPage County jurisdiction.

75th Street is an east-west roadway that is classified as a Strategic Regional Arterial and provides three travel lanes in each direction separated by a raised landscaped median that provides left turn access to other arterials, local streets, and commercial driveways. 75th Street has sidewalks along the north and south side of the roadway, Southern DuPage County Regional Trail is located on south side of 75th Street east of Cass Avenue. 75th Street has a posted speed limit of 45 mph eastbound and a school zone posted speed limit of 20 mph west of Cass Avenue. 75th Street is under DuPage County jurisdiction.

The intersection of *Cass Avenue* and *75th Street* is a signalized intersection. The northbound approach consists of one left turn lane, one through lane, and one shared through/right turn lane while the southbound approach consists of one left turn lane, two through lanes, and one right turn lane. The eastbound and westbound approaches of *75th Street* consist of two left turn lanes, three through lanes, and one right turn lane. There are marked crosswalks along all approaches with sidewalks and pedestrian signals present.

The existing intersection lane configurations are included in the Exhibits.

Since the development proposes to reduce the parking area, parking observations were conducted during the weekday morning, midday, and evening time periods over several days. The parking observations included collecting the number of occupied parking spaces in the vicinity of the proposed development totaling 205 parking spaces. Overall, the observations indicate that the parking area is not well utilized with the exception of the parking area on the south side adjacent to the immediate care facility. A summary of parking counts and data are attached as well.

Proposed Vehicle Trip Generation

The proposed development consists of a quick-service outbuilding totaling 1,000 square feet with a drive-thru window and no indoor seating. Project traffic is estimated using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*. The following land use categories are used to determine project traffic:

Coffee/Donut Shop with Drive-Through Window and No Indoor Seating (ITE Land Use Code 938) – This land use includes any coffee and donut restaurant that has only drive-through window service. A patron cannot walk into the shop and purchase items. The restaurant sells freshly brewed coffee (along with coffee-related accessories) and a variety of food/drink products such as donuts, bagels, breads, muffins, cakes, sandwiches, wraps, salads, and other hot and cold beverages. The restaurant marketing and sales may emphasize coffee beverages over food (or vice versa). The coffee/donut shops contained in this land use typically hold long store hours (more than 15 hours) with an early morning opening.

The *Trip Generation Manual, 11th Edition* estimates trip generation for each land use based on a peak period and an independent variable. In this case, the applicable variable is drive-through lanes for the quick-service shop. The weekday am and weekday pm peak hour trip generation is calculated using either the average rate or fitted curve equation when available. The am and pm peak hour trip generation equations are selected for weekday, peak hour of adjacent street traffic for one hour from 7:00 am to 9:00 am and 4:00 pm to 6:00 pm.

As documented in the *ITE Trip Generation Manual, 11th Edition*, some land uses do not typically generate all new traffic on the roadway system. The total traffic generation is a combination of pass-by trips, or traffic drawn from the existing traffic flow on the adjacent streets, and primary trips, which represent

new traffic drawn to the roadway network. In order to assess the pass-by trips, the data published in the ITE *Trip Generation Handbook, 3rd Edition* was utilized to estimate the pass-by percentages for the applicable land uses. It should be noted that pass-by trip reductions do not reduce the total number of trips into and out of the site, but decrease the number of new trips on the roadway network.

The total trip generation for the site consists of the ITE trip generation with the pass-by trip reassignment applied. A summary of trip generation for the proposed development is provided in Table 1.

Table 1: Trip Generation

LUC	LAND USE	SIZE	Weekday AM			Weekday PM		
			In	Out	Total	In	Out	Total
938	Coffee/Donut Shop with Drive-Through Window and No Indoor Seating	1 Drive-Through Lanes	18	18	36	8	7	15
	<i>Internal Capture Reduction:</i>		-2	-2	-4	-2	-2	-4
	<i>Pass-By Trips:</i>		-14	-14	-28	-5	-5	-10
Total Trip Generation:			18	18	36	8	7	15
<i>Less Internal Capture:</i>			-2	-2	-4	-2	-2	-4
<i>Internal Capture Rate:</i>			11%			27%		
Total External Trips			16	16	32	6	5	11
<i>Less Pass-by:</i>			-14	-14	-28	-5	-5	-10
Total New Traffic Generated on Network:			2	2	4	1	0	1

It should be noted that the ITE *Trip Generation Handbook* methodology for internal capture is applicable since it is very likely that existing trips to the adjacent developments will also stop by the proposed quick-service development. For the purpose of this analysis, it is assumed that an overall internal capture ranges from 11 percent to 27 percent for the weekday peak hours. This results in the proposed development only adding four trips and one trip during the weekday am peak hour and weekday pm peak hour, respectively.

Access Evaluation

The proposed development will be accessed through the three existing driveways along 75th Street and three driveways along Cass Avenue. The proposed development will replace 30 original parking stalls into a 1,000 square foot facility with an eight vehicle drive-through lane, outdoor patio, raised curb landscape areas, and five parking spaces. It is our understanding that there are no other known planned roadway improvements or developments that will impact the existing traffic patterns in the study area. Based on the development only adding four and one vehicle trips during the weekday peak hours and the multiple access points along 75th Street and Cass Avenue, it is anticipated that this development will have minimal traffic impact on the local roadway network.

Conclusion

The purpose of this study is to evaluate the traffic generated by a proposed development that will replace 30 original parking stalls into a 1,000 square foot facility with an eight vehicle drive-through lane, outdoor patio, raised curb landscape areas, and five parking spaces located in the northeast corner of 75th Street and Cass Avenue. Access to the site will remain in the existing configuration with three access points along 75th Street and three access points on Cass Avenue.

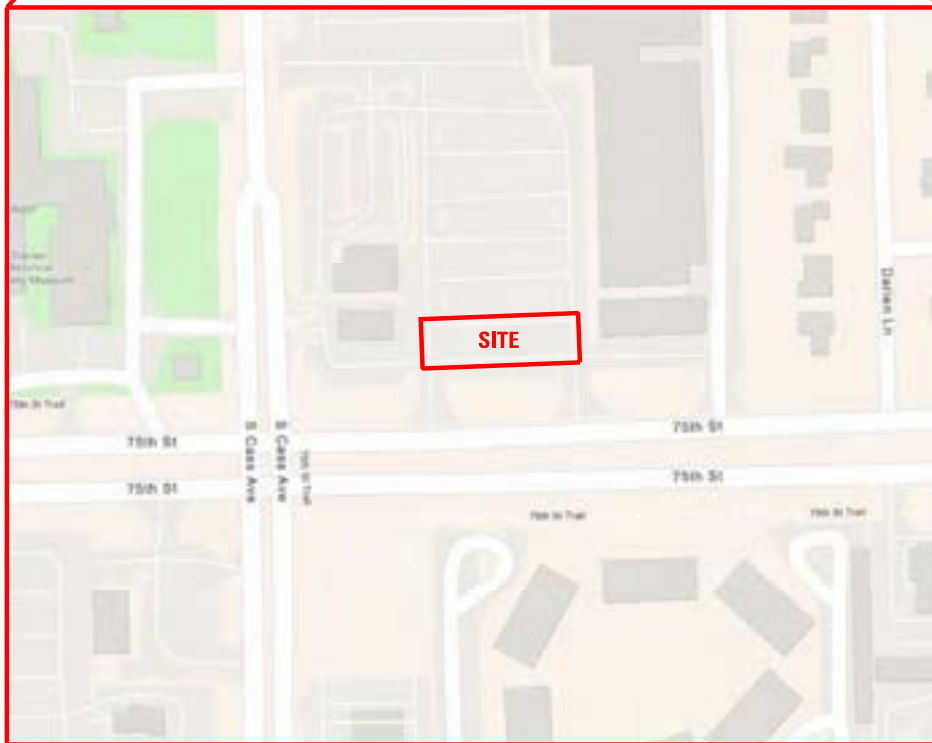
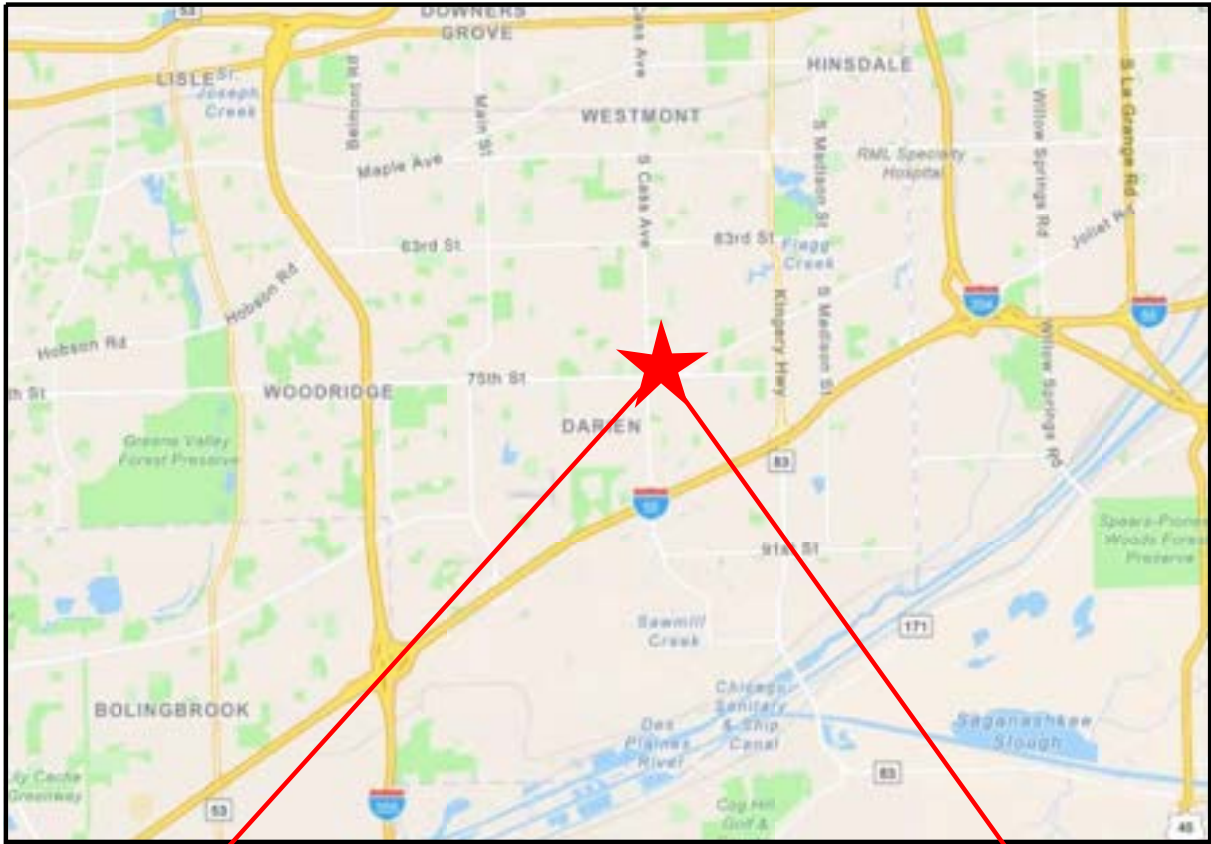
A trip generation evaluation was conducted, and based on the amount of vehicle trips generated by the proposed development, it is our professional opinion that the new traffic generated by the site will have minimal impact to the roadway network.

Exhibits

Site Location Map

Conceptual Site Plan

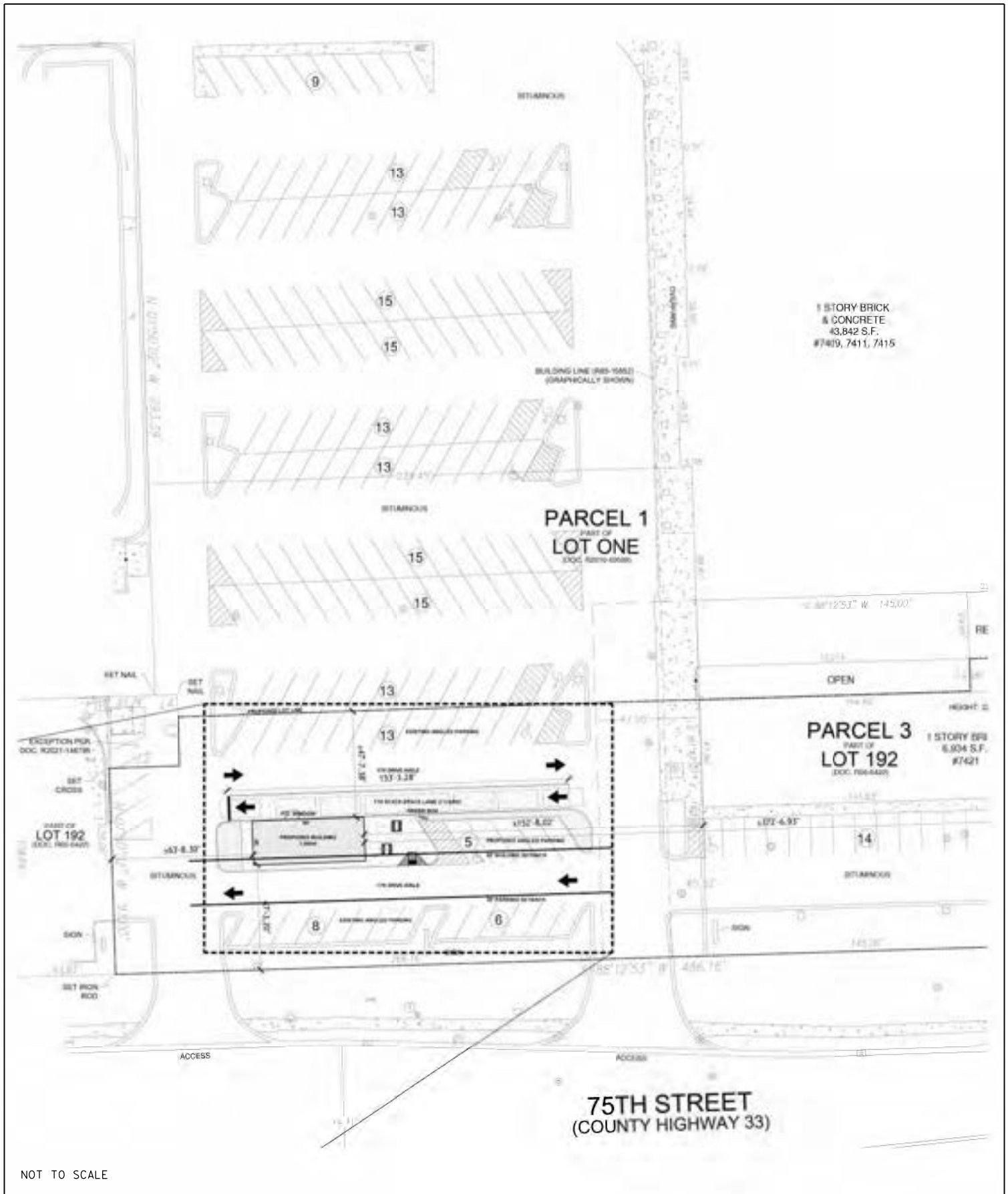
Existing Lane Configuration



PROPOSED COFFEE SHOP

**FIGURE 1
SITE LOCATION MAP**







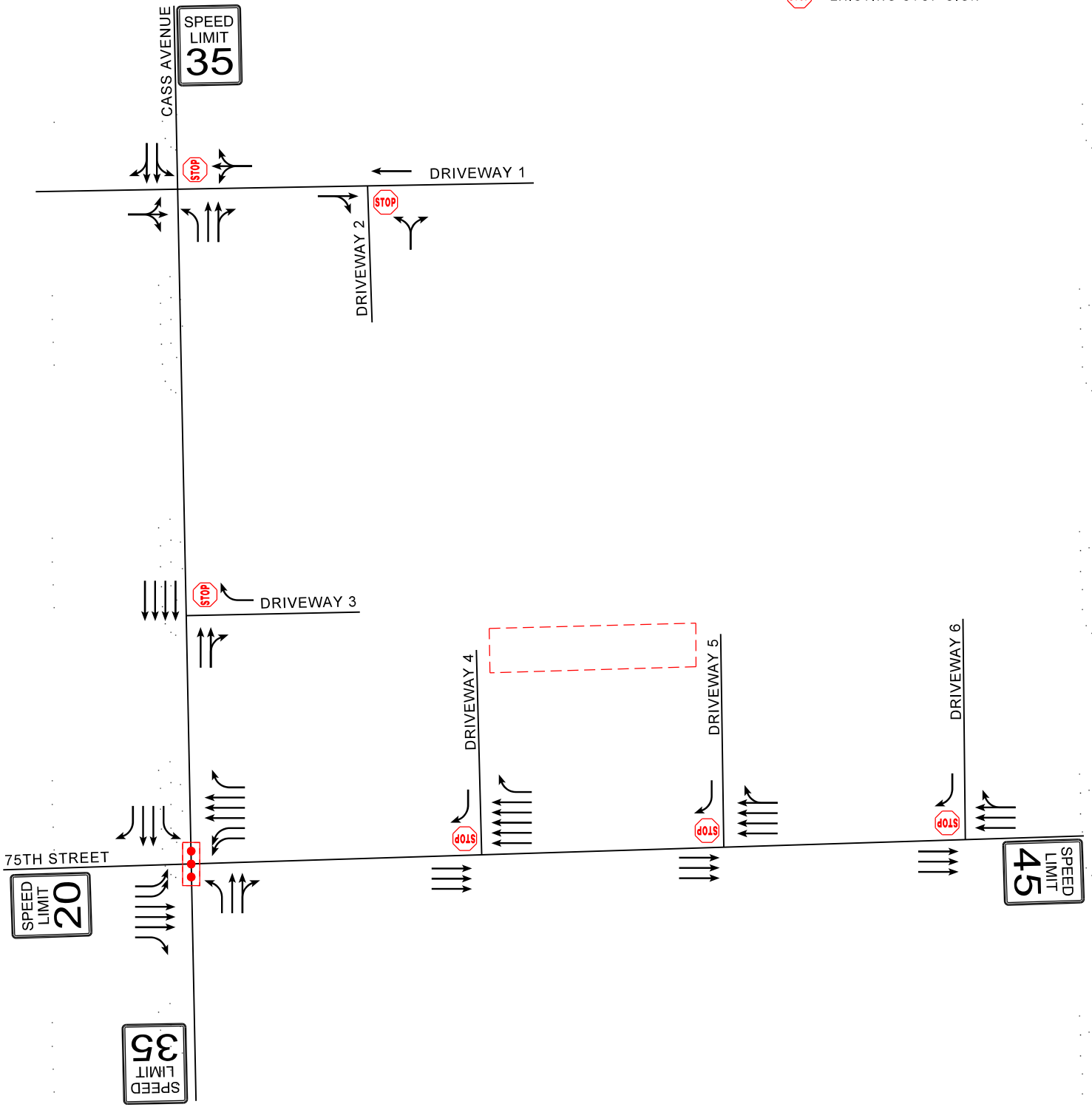
PROPOSED COFFEE SHOP

**FIGURE 2
CONCEPTUAL SITE PLAN**



LEGEND

-  - EXISTING TRAFFIC SIGNAL
-  - EXISTING STOP SIGN



PROPOSED COFFEE SHOP

FIGURE 3
EXISTING LANE CONFIGURATION



Proposed Quick-Service Facility
 Parking Count Summary at 7409 S. Cass Ave.

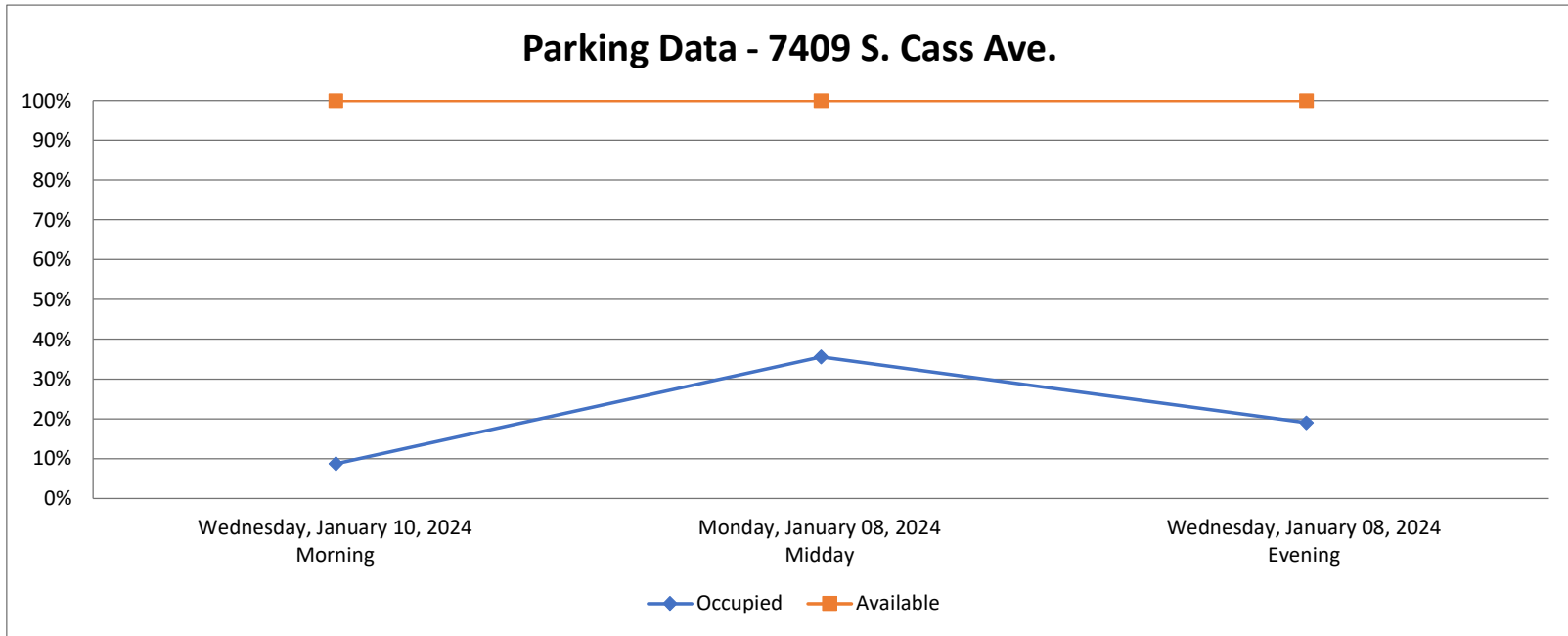


Zone	Total Spaces		Morning	Midday	Afternoon
1	14	Occupied	6	13	3
		Available	8	1	11
2	29	Occupied	4	12	4
		Available	25	17	25
3	28	Occupied	4	5	2
		Available	24	23	26
4	28	Occupied	2	7	4
		Available	26	21	24
5	28	Occupied	0	4	3
		Available	28	24	25
6	28	Occupied	0	6	4
		Available	28	22	24
7	28	Occupied	1	10	7
		Available	27	18	21
8	22	Occupied	1	16	12
		Available	21	6	10

Wednesday, January 10, 2024 Morning	Occupied	18
	Available	187

Monday, January 08, 2024 Midday	Occupied	73
	Available	132

Wednesday, January 08, 2024 Evening	Occupied	39
	Available	166



Cass Avenue

75th Street



Special Use and Variation Criteria

The criteria that the Planning, Zoning and Economic Development Commission and City Council must consider when acting on a request for a Special Use and Variation are included below.

Special Use Criteria:

No special use shall be recommended to the City Council by the Plan Commission, nor approved by the City Council, unless findings of fact have been made on those of the following factors which relate to the special use being sought:

1. *That the special use is deemed necessary for the public convenience at the location specified.*
2. *That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.*
3. *That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*
4. *That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
5. *That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.*
6. *That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
7. *That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*
8. *That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.*

Variation Criteria:

The City may grant variations based on the finding-of-fact that supports the following criteria outlined below by the City to be the most relevant to the subject property situation.

- a) *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.*
- b) *The plight of the owner is due to unique circumstances.*
- c) *The variation if granted will not alter the essential character of the locality.*
- d) *Essential Need: The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.*
- e) *Problem with Property: There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with this*

title. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.

- f) Smallest Solution: There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.*
- g) Create Neighbor Problem: The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.*
- h) Create Community Problem: The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.*
- i) Net Benefit: The positive impacts to the community outweigh the negative impacts.*
- j) Sacrifice Basic Protections: The variation, if granted, will comply with the purposes and intent of this title set forth in subsection 5A-1-2(A) of this title and summarized as follows: to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.*

AGENDA MEMO
MUNICIPAL SERVICES COMMITTEE
APRIL 27, 2026

CASE

PZC-26-4 Special Use, Variations, Preliminary Plat of Subdivision, Minor PUD Amendment (Core Acquisitions, LLC)

ISSUE STATEMENT

Petition to demolish the existing vacant former TGI Fridays restaurant and redevelop the site with two new quick-service drive-through establishments: a Dutch Bros Coffee and an Andy's Frozen Custard. The project includes a subdivision of the property into retail pad sites, with shared cross-access, parking, and site improvements. Variations are requested from the City's zoning regulations relating to minimum lot area, front and side yard setbacks, parking lot and foundation landscaping, lighting, and signage standards, as well as Special Use Permits for the proposed drive-through facilities. The project is located in the B-3 PUD (General Business) zoning district at 2201 75th Street, commonly known as Darien Towne Centre (PIN 09-29-400-026).

GENERAL INFORMATION

Petitioner:	Core Acquisitions, LLC / Ben Barad
Property Owner:	Core Acquisitions, LLC (Contract Purchaser)
Property Location:	2201 75th Street
PIN Number:	09-29-400-026
Existing Zoning:	General Business District (B-3)
Existing Land Use:	Retail Commercial
Comprehensive Plan:	Commercial
Surrounding Zoning & Uses	
North:	Commercial/Residential, Downers Grove
East:	General Business District (B-3)
South:	General Business District (B-3)
West:	General Business District (B-3)
Size of Property:	1.41 acres
Floodplain:	N/A
Natural Features:	Gentle slope from the north to the south. Fully developed.
Transportation/Access:	The petition site gains access from multiple shared driveways on 75 th Street, a signalized drive aisle on 75 th Street, and a shared driveway on Lyman Avenue.

ATTACHMENTS

- A) LOCATION MAP AND AERIAL PHOTO**
- B) PROPOSED SITE / GRADING PLAN**
- C) SUBMITTAL MEMO (BY PETITIONER)**
- D) PROPOSED LANDSCAPE PLAN**
- E) DUTCH BROS OPERATIONS NARRATIVE**
- F) DUTCH BROS ARCHITECTURAL AND SIGN PLANS**
- G) ANDY'S OPERATIONS NARRATIVE**
- H) ANDY'S ARCHITECTURAL PLANS AND SIGN PLANS**
- I) ENGINEERING REVIEW LETTER**
- J) STORMWATER SUMMARY**

BACKGROUND

Darien Towne Centre is an approximately 53-acre commercial development located at the northeast corner of 75th Street and Lyman Avenue, bounded on the south by Manning Road. The property was annexed into the City and zoned B-3 General Business District with a Planned Unit Development special use in 1993, pursuant to Annexation Agreement Ordinance No. O-16-93. The development was approved for a regional shopping center of up to 400,000 square feet, including anchor retail tenants and outlots. Currently, the center is home to Wal-Mart, Aldi and Home Depot, along with many other in-line retail tenants and other businesses and banks.

The subject 1.41-acre property (see Attachment A) was developed as a TGI Friday's, which remained in operation until December 2024, when the restaurant closed its doors. Since that time, the site has remained vacant. The existing building is proposed to be demolished as part of the redevelopment proposed for the site.

PROPOSAL

The applicant is requesting approval of a Preliminary Plat of Subdivision, two Special Use Permits, a series of related variations, and a Minor PUD Amendment to facilitate the redevelopment of the former TGI Fridays site with two new drive-through restaurant establishments (see Attachment B and C). The proposal involves demolishing the existing vacant restaurant building and subdividing the approximately 1.41-acre parcel into two lots. Lot 1, approximately 0.60 acres in size, is proposed for a new freestanding 1,307 square-foot Dutch Bros Coffee drive-through. Lot 2, approximately 0.80 acres in size, is proposed for a new 1,985 square-foot freestanding Andy's Frozen Custard quick-service restaurant with a drive-through, and outdoor patio with walk-up service windows.

Economic Incentive Request: The applicant has submitted a request for economic incentives as part of the application; however, this request is currently under separate review by staff and is not included in the agenda. If mutually agreeable terms are established, the proposed incentive will be brought back to the appropriate administrative bodies for full review and recommendation.

ANALYSIS**A) Zoning / Comprehensive Plan**

Existing Zoning: The subject property is zoned B-3 General Business District. Drive-through restaurants are permitted within the B-3 district with Special Use Permit approval, making the proposed uses appropriate for this location. The outlot restaurant format is already well-established within the broader Darien Towne Centre PUD.

Comprehensive Plan: The Comprehensive Plan designates the site as Commercial and identifies it as Key Development Area #5 — the Darien Towne Centre at 75th Street and Lyman Avenue. The Plan's stated priorities for this area are infill development, conversion of underutilized parking areas into new commercial buildings, and architectural enhancement of the existing site. The proposed redevelopment with two new, actively operated drive-through establishments directly implements the policies and guidelines of the Comprehensive Plan. Staff finds the proposal fully consistent with the Commercial land use designation and the objectives of the Plan.

B) Special Use Permit and Variations; Dutch Bros Coffee Drive-Through

Proposed for Lot 1 of the new development is a Dutch Bros drive through coffee establishment.

The building is centrally located on the site, with parking placed mostly on the perimeter and the drive-through lanes wrapping around the building and the trash enclosure positioned behind the building toward the rear of the lot.

Dutch Bros Coffee operates daily from 5:00 a.m. to 11:00 p.m., serving customers through a drive-through and walk-up model. Orders are taken directly at customers' vehicles by employees using handheld point-of-sale devices, minimizing queuing times and congestion. The location will typically be staffed by three to five employees per shift (see Attachment E).

Variations: The following variations are required for the Dutch Bros site:

Minimum Lot Area (Section 5A-8-4-7): Six acres required; 0.60 acres proposed. The six-acre minimum is inapplicable to a small-footprint drive-through pad site. The PUD framework and shared-access declaration address the functional intent of this standard.

Front Yard Setback (Section 5A-8-4-8): 50 feet required; 30.2 feet proposed. The reduced setback is consistent with setbacks previously established and approved as part of the Darien Towne Centre PUD, and reflects the physical constraints of an infill pad site.

West Side Yard Setback (Section 5A-8-4-8): 40 feet required; 10.4 feet proposed. Same reasoning as front yard setback. Full compliance would render the parcel functionally undevelopable at this size.

Parking Lot Landscaping (Section 5A-10-6): One shade tree and 37 shrubs per 100 linear feet of perimeter parking required. Shade trees along 75th Street would obstruct visibility of the use from the street. The landscape plan demonstrates compensating plantings throughout the site and interior parking islands, and satisfies the City's perimeter yard point system.

Wall and Ground Signage (Section 4-3-10-B-2 and -3)

Wall signage is limited to two (2) square feet per linear foot of building frontage, up to a maximum of 500 square feet. Additional signage may be permitted for buildings with frontage on multiple streets. Only one ground sign per street frontage is permitted. Ground signs are limited to sixty (60) square feet per side and a maximum height of twelve (12) feet above grade.

Development Standards: Planning and Engineering staff, including the City's engineering consultant Christopher B. Burke Engineering, reviewed the proposed site plan. The development complies with all zoning development standards contained within the code, except as noted in the variation request. The minimum required stacking for the drive through is 15 spaces, which Dutch Bros provides.

Architecture: The Dutch Bros building (see Attachment F) follows the brand's current prototype, featuring a two-tone gray EIFS exterior, blue fiber cement siding at the tower element, and grey brick veneer at the base and canopy columns. A framed canopy with dark gray metal fascia and natural wood soffit extends over the drive-through and walk-up areas. The parapet reaches 24 feet at its tallest point, with mechanical units screened behind it.

Landscaping, Grading and Utilities: The landscape plan proposes a total of 11 shade trees, 2

ornamental trees, 9 evergreen trees, 9 narrow evergreen screening trees, 67 tall shrubs, 302 low shrubs, 54 ornamental grasses, and approximately 367 square feet of perennial and ground cover plantings, along with over 21,000 square feet of turf. The perimeter yard point calculations are demonstrated on the landscape cover sheet. Where full compliance with foundation or parking lot landscaping standards cannot be achieved due to site constraints, compensating plantings are distributed throughout the site.

A final grading plan and stormwater management plan will be required during the building process. The preliminary grading plan is included as part of Attachment B. The stormwater summary provided by the petitioner (Attachment J) indicates that existing facilities are equipped to handle drainage and BMPs. Utilities are available for the site.

C) Special Use Permit and Variations; Andy's Custard Drive Through

Proposed for Lot 2 of the new development is an Andy's Frozen Custard quick-service restaurant with a drive-through and outdoor patio with walk-up service windows. The Andy's building is centrally located on Lot 2, with the drive-through lane wrapping around the building, the outdoor patio area located at the front of the building along 75th Street, and the trash enclosure positioned behind the building toward the rear of the lot.

Andy's Frozen Custard offers frozen custard and baked goods. Orders are taken face-to-face at customers' vehicles using runners and iPads — there is no speaker box. The brand's stated service commitment of 80 to 90 seconds per vehicle minimizes queuing and on-site congestion. Peak hours fall between 7:00 and 10:00 p.m. on Friday and Saturday evenings, avoiding conflict with typical commuter traffic. The location will operate from 11:00 a.m. to 11:00 p.m. Sunday through Thursday and until 11:30 p.m. Friday and Saturday, with extended hours during peak season. Approximately 25 new employment opportunities are anticipated (see Attachment G).

Variations: The following variations are required for the Andy's Frozen Custard site:

Minimum Lot Area (Section 5A-8-4-7): Six acres required; 0.81 acres proposed. The six-acre minimum is inapplicable to a small-footprint drive-through pad site. The PUD framework and shared-access declaration address the functional intent of this standard.

Front Yard Setback (Section 5A-8-4-8): 50 feet required; 30.2 feet proposed. Consistent with the established PUD development pattern and physical constraints of the infill parcel.

East Side Yard Setback (Section 5A-8-4-8): 40 feet required; 3.2 feet proposed. The reduced setback reflects the constraints of the subdivided parcel and the need to accommodate the building footprint, drive-through lane, and required queuing.

Side Yard Between Lots (Section 5A-8-4-8): 40 feet required; 0 feet proposed at the shared lot line between Dutch Bros and Andy's. The unified site design and cross-access Declaration govern shared circulation between the two parcels.

Foundation and Refuse Area Landscaping (Section 5A-10-7): Continuous foundation landscaping on all building sides cannot be achieved due to the outdoor patio and drive-through canopy areas integral to Andy's operations. Compensating plantings are provided in parking islands and along the site perimeter.

Parking Lot Landscaping (Section 5A-10-6): One shade tree and 37 shrubs per 100 linear feet of perimeter parking required. Shade trees along 75th Street would obstruct visibility of the use from the street. The landscape plan demonstrates compensating plantings throughout the site and interior parking islands, and satisfies the City's perimeter yard point system.

Canopy Lighting (Section 5A-11-2-1): Andy's prototype includes canopy lighting standard to the brand's design. The site photometric plan demonstrates appropriate light levels directed away from adjacent properties and the right-of-way.

Wall and Ground Signage (Section 4-3-10-B-2 and -3)

Wall signage is limited to two (2) square feet per linear foot of building frontage, up to a maximum of 500 square feet. Additional signage may be permitted for buildings with frontage on multiple streets. Only one ground sign per street frontage is permitted. Ground signs are limited to sixty (60) square feet per side and a maximum height of twelve (12) feet above grade.

Development Standards: Planning and Engineering staff, including the City's engineering consultant Christopher B. Burke Engineering, reviewed the proposed site plan. The development complies with all zoning development standards contained within the code, except as noted in the variation requests. The minimum required stacking for the drive-through is 15 spaces, which Andy's provides.

Architecture: The Andy's building features dark brick veneer as the dominant exterior material, with bright colored aluminum soffits at the drive-through canopy and at the patio canopy. A shielded LED lighting band wraps the building perimeter fascia, serving as both an architectural and signage element. The upper roof reaches approximately 16 feet 6 inches, with the drive-through canopy extending to 28 feet at its peak (see Attachment H).

Landscaping, Grading and Utilities: The landscape plan proposes a total of 11 shade trees, 2 ornamental trees, 9 evergreen trees, 9 narrow evergreen screening trees, 67 tall shrubs, 302 low shrubs, 54 ornamental grasses, and approximately 367 square feet of perennial and ground cover plantings, along with over 21,000 square feet of turf. The perimeter yard point calculations are demonstrated on the landscape cover sheet. Where full compliance with foundation or parking lot landscaping standards cannot be achieved due to site constraints, compensating plantings are distributed throughout the site. Landscape screening is proposed along drive aisles adjacent to the Andy's outdoor seating area to separate pedestrians from vehicle traffic.

A final grading plan and stormwater management plan will be required during the building process. The preliminary grading plan is included as part of Attachment B. The stormwater summary provided by the petitioner (Attachment J) indicates that existing facilities are equipped to handle drainage and BMPs. Utilities are available for the site.

D) Preliminary Plat of Subdivision and Minor PUD Amendment

Preliminary Plat of Subdivision: The proposed Preliminary Plat of Resubdivision of Lot 9 in Darien Towne Centre subdivides the existing 1.41-acre parcel into two lots — Lot 1 (0.60 acres) for Dutch Bros Coffee and Lot 2 (0.81 acres) for Andy's Frozen Custard — with cross-access between the lots established by note on the plat and governed by Declaration. The Preliminary Plat

has been reviewed and revised in response to comments from City staff and Christopher B. Burke Engineering, and staff finds it to be in compliance with the intent of the City's subdivision ordinance. The last engineering comment letter provided by Christopher B. Burke Engineering, Ltd. is included (see Attachment I and K).

The subject property is located within the Darien Towne Centre B-3 PUD. The proposed redevelopment — including the resubdivision of Lot 9 and the introduction of two new pad site uses with drive-throughs — constitutes a change to the approved PUD configuration and requires a Minor PUD Amendment.

The proposed amendment is consistent with the overall commercial character and intent of the Darien Towne Centre PUD. The redevelopment of a long-vacant restaurant building with two active, well-known food and beverage tenants will improve the visual appearance of the site, generate new sales tax revenue for the City, and bring activity back to a parcel that has been underutilized. The uses are consistent with the retail and restaurant character of the surrounding shopping center.

The shared access, cross-parking, and maintenance obligations to be memorialized in the Declaration among the two lots will ensure that the site continues to function in a unified and coordinated manner consistent with the PUD framework.

Staff supports the Minor PUD Amendment and recommends approval as part of the overall action on this application.

PZEDC MEETING APRIL 15, 2026

The Planning, Zoning and Economic Development Commission reviewed this item at its meeting on April 15, 2026. The petitioner and members of the public were present. Various discussion points were raised related to traffic, site design and stormwater. **Following deliberation, the Commission voted 6-1 to recommend approval of the project to the City Council.**

DECISION MODE

The Municipal Services Committee will consider this item at its meeting on April 27, 2026.

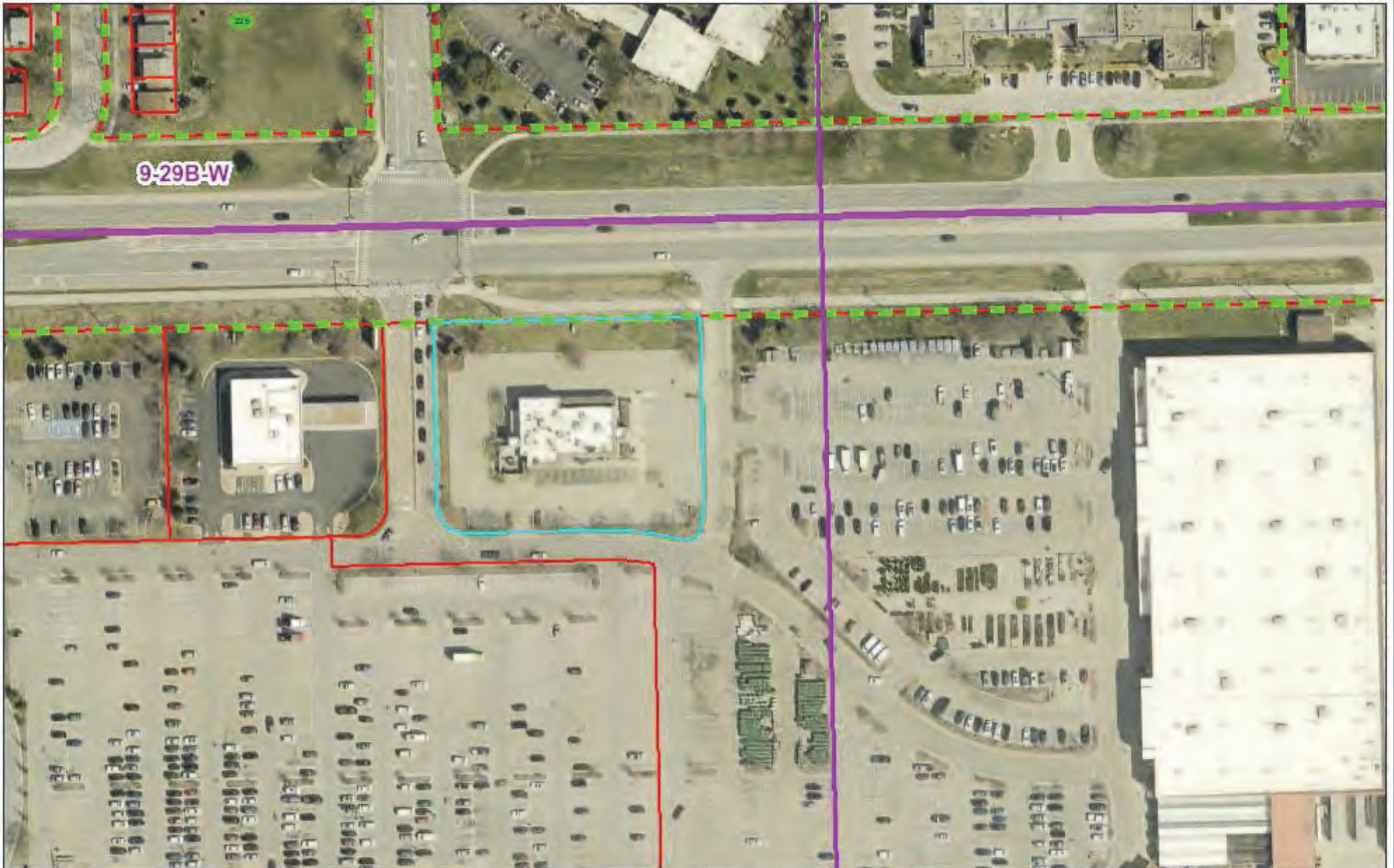
MEETING SCHEDULE

Municipal Services Committee
City Council

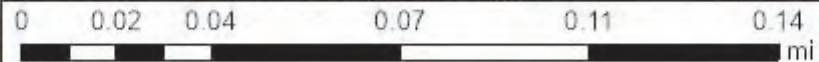
February 23, 2026
March 2, 2026

ArcGIS Web Map

DuPage Web Mapping Application - DuPage County, Illinois



9-29B-W



DuPage County
 Information Technology Department / GIS Division
 421 N County Farm Rd.
 Wheaton, IL 60187

Phone: 1(630)407-5000
 Email: gis@dupageco.org

DuPage Maps Portal
<https://www.dupage.maps.arcgis.com/mxme>

This map is for assessment purposes only

DuPage County Web Site
<https://www.dupagecounty.gov>

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- DuPage County
- Townships
- Sections
- Quarter Sections
- Half Quarter Sections

- Regional County Boundaries
- COOK
 - KANE
 - KENDALL
 - LAKE

Proposed Improvements for 2201 75TH STREET CITY OF DARIEN, ILLINOIS

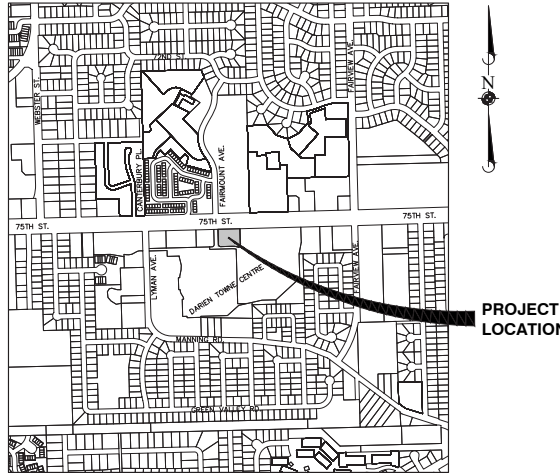
= SHEETS INCLUDED IN PRELIMINARY ENGINEERING SUBMITTAL

STANDARD SYMBOLS

EXISTING		PROPOSED
	STORM SEWER	
	SANITARY SEWER	
	COMBINED SEWER	
	FOREMAN	
	DRAINAGE	
	WATER MAIN	
	ELECTRIC	
	GAS	
	TELEPHONE	
	OVERHEAD WIRES	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	STORM INLET	
	CLEANOUT	
	HAY BALES	
	RIP RAP	
	VALVE IN VAULT	
	VALVE IN BOX	
	FIRE HYDRANT	
	BUFFALO BOX	
	FLARED END SECTION	
	STREET LIGHT	
	SUMMIT / LOW POINT	
	BM ELEVATION	
	INVERT ELEVATION	
	DITCH OR SWALE	
	DIRECTION OF FLOW	
	OVERFLOW RELIEF SWALE	
	1 FOOT CONTOURS	
	CURB AND GUTTER	
	ADHESIVE CURB AND GUTTER	
	REVERSE CURB AND GUTTER	
	SIDEWALK	
	DETECTABLE WARNINGS	
	PROPERTY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	MAIL BOX	
	SIGN	
	TRAFFIC SIGNAL	
	POWER POLE	
	GUY WIRE	
	GAS VALVE	
	MANHOLE	
	ELECTRICAL EQUIPMENT	
	TELEPHONE EQUIPMENT	
	CHAIN-LINK FENCE	
	SPOT ELEVATION	
	BRUSH/TREE LINE	
	DECIDUOUS TREE WITH TRUNK DIA. IN INCHES (TBR)	
	CONIFEROUS TREE WITH HEIGHT IN FEET (TBR)	
	SILT FENCE	
	RETAINING WALL	
	WETLAND	

ABBREVIATIONS

ADJ	ADJUST	F/L	FLOW LINE	R.O.W.	RIGHT-OF-WAY
AGG.	AGGREGATE	FM	FORCE MAIN	ROP	REINFORCED CONCRETE PIPE
ARCH	ARCHITECT	G	GRADE	REV	REVERSE
B.L.M.	BITUMINOUS AGGREGATE MIXTURE	G/F	GRADE AT FOUNDATION	RI	RAILROAD
B-B	BACK TO BACK	GW	GUY WIRE	RII	RIGHT
B/C	BACK OF CURB	HWL	HEADWALL	RII	RIP
B/P	BOTTOM OF PIPE	HWS	HIGH WATER LEVEL	RII	RIP
B/W	BACK OF WALK	HY	HYDRANT	RII	RIP
B-W/B	BUFFALO BOX	IN	INLET	RII	RIP
BIT	BITUMINOUS	INV	INVERT	RII	RIP
B.M.	BENCHMARK	IP	IRON PIPE	RII	RIP
B.O.	BY OTHERS	LI	LEFT	RII	RIP
C.E.	COMMERCIAL ENTRANCE	MAX.	MAXIMUM	RII	RIP
CB	CATCH BASIN	MB	MAILBOX	RII	RIP
C	CENTRINE	M/E	MEET EXISTING	RII	RIP
CMR	CORRUGATED METAL PIPE	M/E	MEET EXISTING	RII	RIP
CONC.	CONCRETE	MIN.	MINIMUM	RII	RIP
CO	CLEANOUT	NWL	NORMAL WATER LEVEL	RII	RIP
CY	CURB YARD	P.C.	POINT OF CURVATURE	RII	RIP
DIP	DUCTILE IRON PIPE	P.C.	POINT OF CURVATURE	RII	RIP
DIA.	DIAMETER	P.C.C.	POINT OF COMPOUND CURVE	RII	RIP
DWM	DUCTILE IRON WATER MAIN	P.G.L.	PROFILE GRADE LINE	RII	RIP
DS	DOWNSPOUT	PI	POINT OF INTERSECTION	RII	RIP
DT	DRAIN TILE	PL	PROPOSED	RII	RIP
E-E	EDGE TO EDGE	PROP.	PROPOSED	RII	RIP
ELEV.	ELEVATION	P/T	POINT OF TANGENCY	RII	RIP
E/P	EDGE OF PAVEMENT	PVC	POLYETHYLENE CHLORIDE PIPE	RII	RIP
EX.	EXISTING	PVC	POINT OF VERTICAL CURVATURE	RII	RIP
F.O.	FIELD ENTRANCE	PVI	POINT OF VERTICAL INTERSECTION	RII	RIP
F-F	FACE TO FACE	PVT	POINT OF VERTICAL TANGENCY	RII	RIP
FFS	FINISHED FLOOR	P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT	RII	RIP
FE	FLARED END SECTION	R	RADIUS	RII	RIP



LOCATION MAP
N.T.S.

OWNER:
CORE ACQUISITIONS
10 PARKWAY NORTH BOULEVARD, SUITE 120
DEERFIELD, ILLINOIS 60015



Manhard CONSULTING

333 East Butterfield Road, Suite 600, Lombard, IL 60148 ph: 630.691.6500 fx: 630.691.8585 manhard.com
Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers
Environmental Engineers • Environmental Scientists • Land Development Engineers



INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	SOIL EROSION AND SEDIMENT CONTROL PLAN
4	SOIL EROSION AND SEDIMENT CONTROL DETAILS
5	SITE DIMENSIONAL AND PAVING PLAN
6	GRADING PLAN
7	UTILITY PLAN
8	CONSTRUCTION DETAILS
9	CONSTRUCTION DETAILS
10	CONSTRUCTION SPECIFICATIONS
<input type="checkbox"/>	TOPOGRAPHIC SURVEY

NOTE:

THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY MANHARD CONSULTING ON JANUARY 9, 2026. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.

BENCHMARKS:

REFERENCE BENCHMARK:
ELEVATIONS AND SITE BENCHMARKS SHOWN HEREON WERE ESTABLISHED UTILIZING A TRIMBLE REAL-TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) AND THE TRIMBLE VRS NOW NETWORK. THE OBSERVED ELEVATIONS ARE THE BASIS FOR ALL ELEVATIONS SHOWN HEREON AND THIS INFORMATION HAS NOT BEEN DIRECTLY COMPARED TO ANY OTHER KNOWN OR FIXED BENCHMARK. ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM (GEOID18).

SITE BENCHMARK #1:
EAST ARROW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 83 FEET EAST OF CENTERLINE OF FAIRMOUNT AVENUE AND 176 FEET SOUTH OF CENTERLINE OF 75th STREET.

ELEVATION= 779.06 DATUM=NAVD88 (GEOID 18)

SITE BENCHMARK #2:
EAST ARROW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 53 FEET EAST OF CENTERLINE OF FAIRMOUNT AVENUE AND 18 FEET SOUTH OF CENTERLINE OF ACCESS DRIVEWAY.

ELEVATION= 776.52 DATUM=NAVD88 (GEOID 18)

MANHARD CONSULTING IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AT OR ON THE CONSTRUCTION SITE. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PERFORMING WORK OR SERVICES. NEITHER THE OWNER NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR THE JOB SITE SAFETY OF PERSONS ENGAGED IN THE WORK OR THE MEANS OR METHODS OF CONSTRUCTION.

2201 75TH STREET

CITY OF DARIEN, ILLINOIS

TITLE SHEET

PROJECT NO.

PM

PROJECT ASSOC.

CMR

DRAWN BY

MH

DATE

02-23-26

SCALE

N.T.S.

SHEET

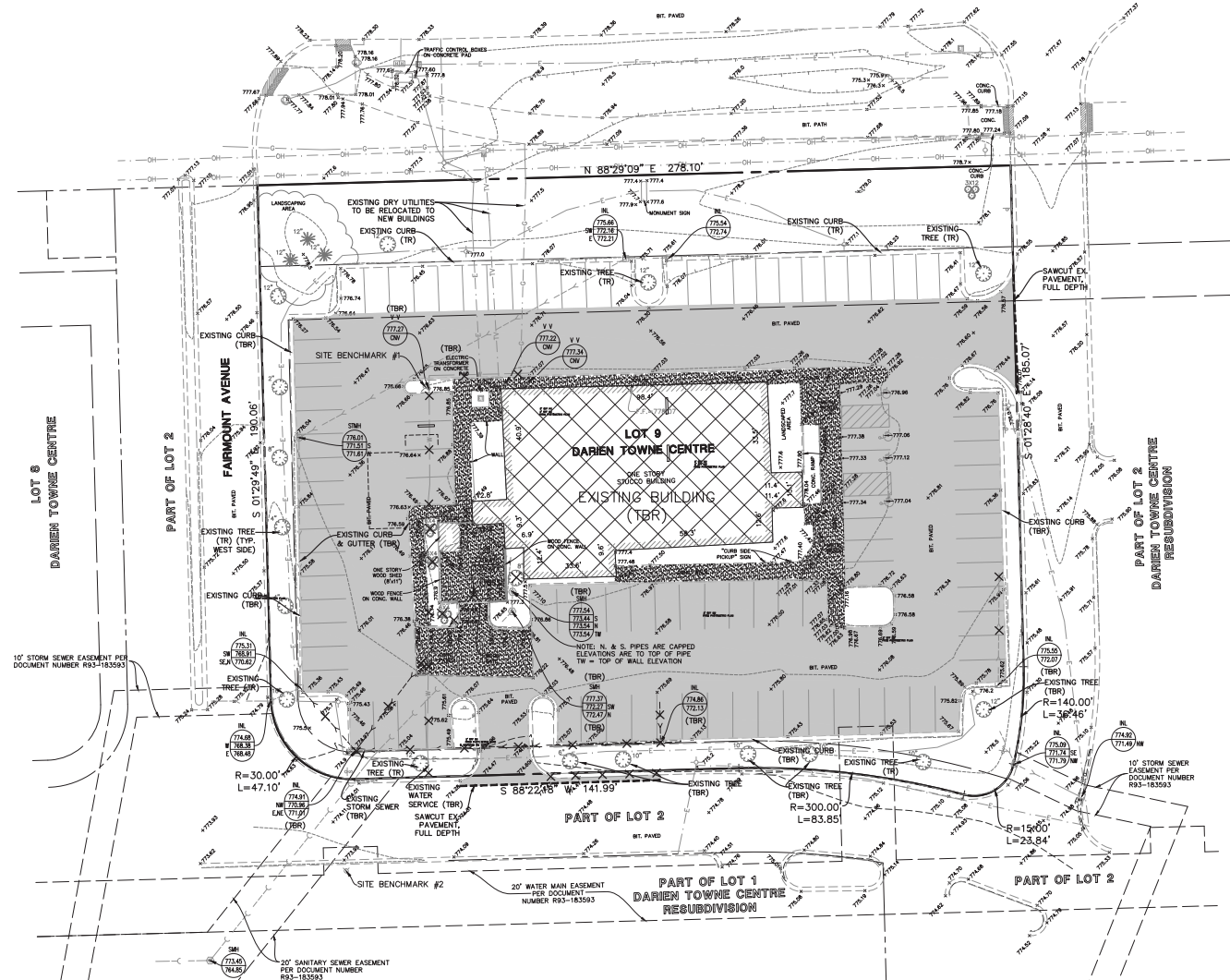
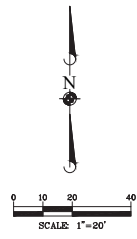
1

OF 10

CADDROL1

NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29-38-11

75th STREET



DEMOLITION LEGEND	
	BITUMINOUS PAVEMENT AND BASE TO BE REMOVED
	CONCRETE PAVEMENT AND BASE TO BE REMOVED
	BUILDING TO BE REMOVED
	SAWCUT LINE
	FENCE, RETAINING WALL, RAILROAD TIES, POLES, CURB AND GUTTER, ETC. TO BE REMOVED
	UTILITY STRUCTURE TO BE REMOVED
	UTILITY LINE REMOVAL, FILL OR ABANDONMENT (REFER TO SPECIFICATIONS)
	TREE TO BE REMOVED
(TBR)	TO BE REMOVED
(TR)	TO REMAIN

- EXISTING CONDITIONS AND DEMOLITION NOTES:**
- EXISTING CONDITIONS AND DEMOLITION PLAN REPRESENT SITE CONDITIONS AS OF JANUARY 9, 2008. CONTRACTOR SHALL INSPECT SITE PRIOR TO BIDDING WORK TO VERIFY ACTUAL FIELD CONDITIONS AS PORTIONS OF THE DEMOLITION WORK MAY HAVE SINCE BEEN COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE ALL DEMOLITION WORK AS PER PLANS TO PREPARE THE SITE FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL JURISDICTIONAL GOVERNING ENTITIES) OF ALL STRUCTURES, FOUNDS, WALLS, FLUMES, FOUNDATIONS, ROAD, PARKING LOTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THESE PLANS CAN BE CONSTRUCTED. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
 - REFER TO SPECIFICATIONS SHEET FOR DEMOLITION NOTES.

DATE	
BY	
CHECKED	
SCALE	
PROJECT	
DRAWN	
DATE	
SCALE	
SHEET	
OF	
CAD/DR/LO1	



2201 75TH STREET
CITY OF DARIEN, ILLINOIS
EXISTING CONDITIONS AND DEMOLITION PLAN

PROJ. NO.	JM
PROJ. ASSOC.	DMR
DRAWN BY	
DATE	02-23-08
SCALE	1"=80'
SHEET	2
OF	10
CAD/DR/LO1	

75th STREET

LOT 8
DARREN TOWNE CENTRE

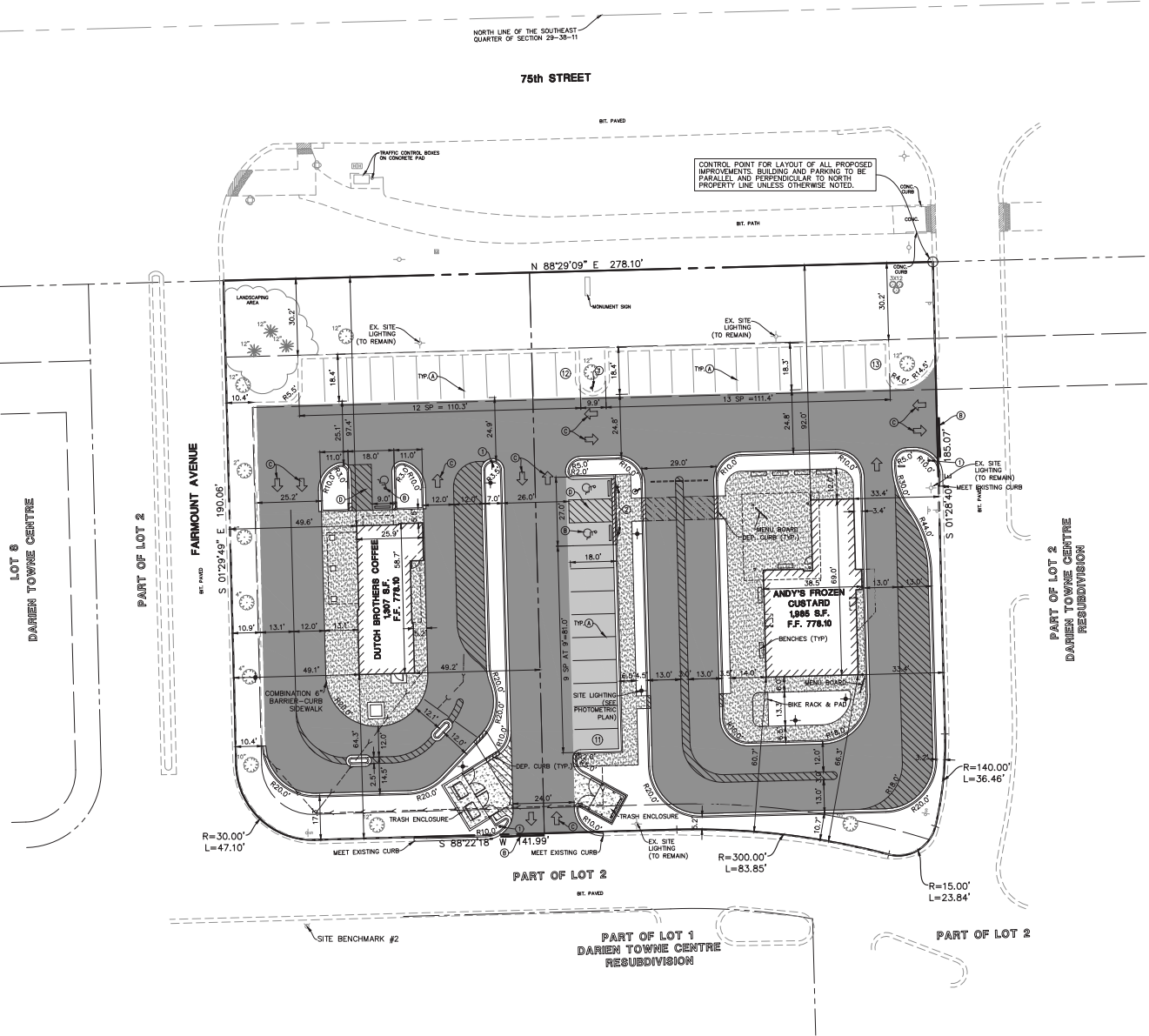
PART OF LOT 2

FARMOUNT AVENUE

PART OF LOT 2
DARREN TOWNE CENTRE
RESUBDIVISION

PART OF LOT 1
DARREN TOWNE CENTRE
RESUBDIVISION

NORTH LINE OF THE SOUTHEAST
QUARTER OF SECTION 29-38-11



CONTROL POINT FOR LAYOUT OF ALL PROPOSED
IMPROVEMENTS, BUILDING AND PARKING TO BE
PARALLEL AND PERPENDICULAR TO NORTH
PROPERTY LINE UNLESS OTHERWISE NOTED.



- SIGN LEGEND**
- ① R1-1 STOP SIGN
 - ② R7-8 HANDICAP PARKING SIGN
 - ③ R5-1 DO NOT ENTER
 - ④ R6-25 ONE WAY
 - ⑤ R7-8a VAN ACCESSIBLE SIGN

- PAVEMENT MARKING LEGEND**
- ① 4" YELLOW LINE
 - ② LETTERS AND SYMBOLS PAVEMENT MARKINGS
 - ③ TRAFFIC FLOW DIRECTIONAL ARROWS
 - ④ 4" YELLOW DIAGONAL AT 45° SPACED 2' O.C. W/ 4" YELLOW BORDER

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF SIDEWALKS, SIDEWALK SCORING, BENCHES, BIKE RACKS, FLAG POLES, ETC.; DIMENSIONS OF VESTIBULE, RAMPS AND TRUCK DOCKS. PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS

SITE DATA

SITE AREA ANDY'S FROZEN CUSTARD	0.81 ACRES
STANDARD PARKING PROVIDED	22 SPACES
HANDICAP PROVIDED	2 SPACES
TOTAL PARKING PROVIDED	24 SPACES
PARKING RATIO	12.09 SPACES/1000 S.F.
SITE AREA DUTCH BROTHERS COFFEE	0.60 ACRES
STANDARD PARKING PROVIDED	12 SPACES
HANDICAP PROVIDED	1 SPACE
TOTAL PARKING PROVIDED	13 SPACES
PARKING RATIO	9.94 SPACES/1000 S.F.

- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE 86.12 UNLESS OTHERWISE NOTED.
 - ALL CURB RADI SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - IF ALL PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH 2-#6 BARS x 18" LONG DOWELED INTO EXISTING CURB.
 - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY OCCUR. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. BUILDING DIMENSIONS SHOWN SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT OF BUILDING.
 - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, COMPUTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED SIDEWALK. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 - SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - PROVIDE DEEPENED CURB AND RAMP AT ALL HANDICAP ACCESSIBLE SIDEWALK AND PATH LOCATIONS PER FEDERAL AND STATE STANDARDS.
 - CONTRACTOR SHALL CONTACT JULLIE (1-800-892-9123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.

PAVEMENT LEGEND

	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 8" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	CONCRETE PAVEMENT 8" PORTLAND CEMENT CONCRETE PAVEMENT W/ 6 x 6 W1.4 WWF 4" COMPACTED AGGREGATE BASE, TYPE B
	CONCRETE SIDEWALK 2" PORTLAND CEMENT CONCRETE 4" COMPACTED AGGREGATE BASE COURSE, TYPE B

DATE	
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REVISION	
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DATE	

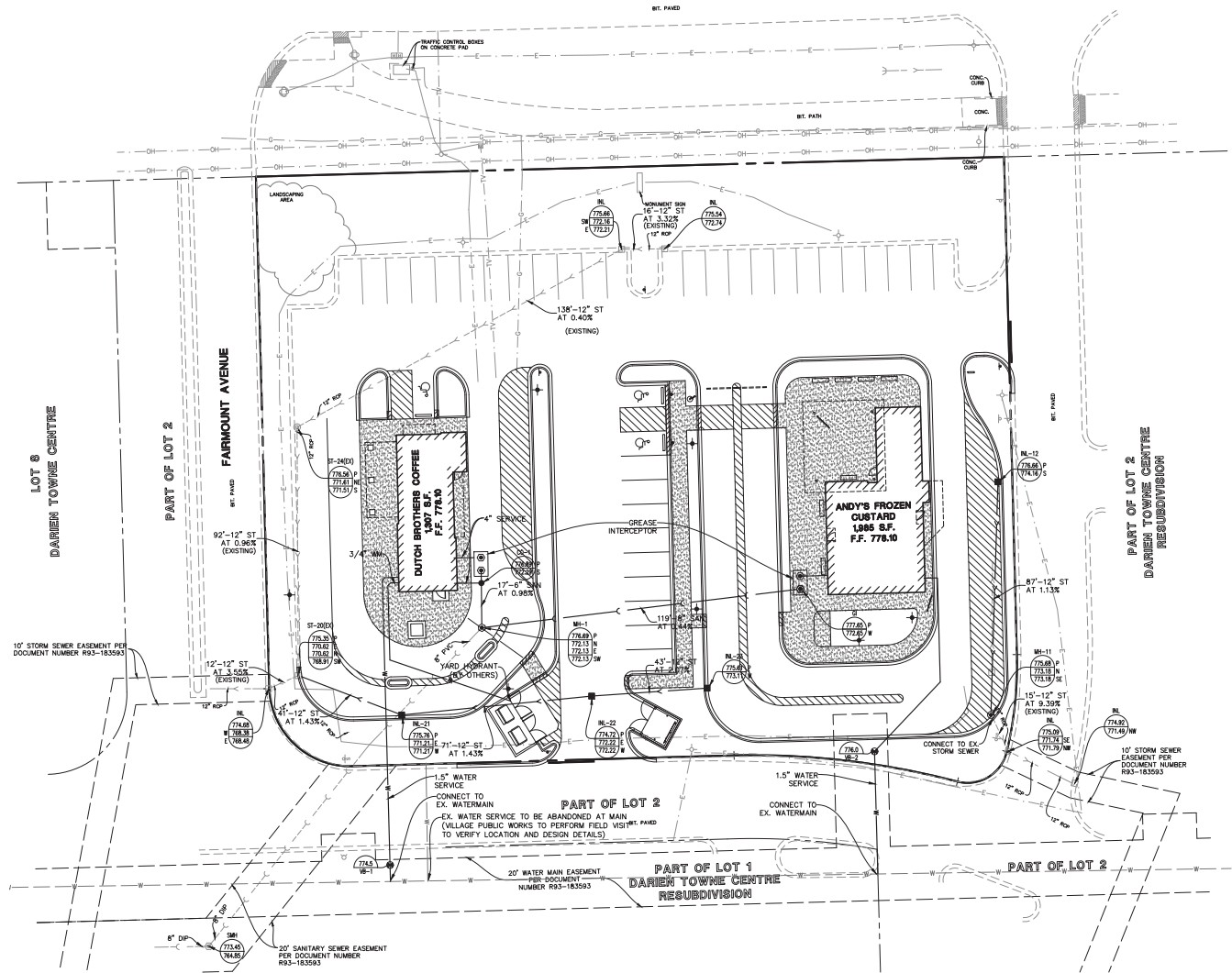


2201 75TH STREET
CITY OF DARIEN, ILLINOIS
SITE DIMENSIONAL AND PAVING PLAN

DATE: 02-23-28
SCALE: 1"=20'
SHEET 5 OF 10
CADDROL10

NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29-38-11

75th STREET



- UTILITY NOTES:**
- ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT JULLIE (1-800-882-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER, WATER MAIN AND DRY UTILITY LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND CROSSINGS PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 - THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
 - CONTRACTOR TO VERIFY LOCATION, SIZES AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 - AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
 - ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
 - ALL WATER MAIN SHALL BE 6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS NOTED OTHERWISE.
 - ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HERE ON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED.
 - ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
 - PROVIDE CONCRETE COLLAR FOR ALL DRAINAGE STRUCTURES IN PAVEMENT, NOT ADJACENT TO CURB. SEE CONCRETE COLLAR DETAIL ON DETAIL SHEET.
 - CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO EXISTING SANITARY MANHOLES.
 - EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJUSTED EXISTING SANITARY MANHOLES.
 - SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - ALL D.I. WATERMAIN PIPE AND D.I. WATERMAIN FITTINGS SHALL BE WRAPPED.

2201 75TH STREET
CITY OF DARIEN, ILLINOIS
UTILITY PLAN

DATE: _____

SCALE: 1"=20'

SHEET
7 OF 10
CAQDR101

Manhard CONSULTING

333 SOUTH BROADWAY, SUITE 200, DARIEN, ILLINOIS 60015
Tel: 708.261.1100 Fax: 708.261.1101
www.manhardconsulting.com

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February 27th, 2026

Attn: Ryan Murphy

Re: *Variance Request, Special Use Permit and Plat of Subdivision– 2201 75th Street, Darien, IL*

Ryan:

This letter is in reference to the Variance Requests, Special Use Permit and Plat of Subdivision for the site located at 2201 75th Street, Darien, IL.

Applicant: Core Ventures, LLC

Adam Firsell, its Manager
10 Parkway North Blvd, Suite 120
Deerfield, Illinois 60015

Property: 2201 75th Street, Darien, IL

Tax Parcel: 09-29-400-026

Legal Description: LOT 9 IN DARIEN TOWNE CENTRE, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 17, 1993 AS DOCUMENT R93- 183593, IN DUPAGE COUNTY, ILLINOIS.

Project Description: The proposed project involves the redevelopment of the property located at 2201 75th Street in Darien, Illinois. The site is currently improved with a vacant former TGI Fridays building that will be demolished as part of the redevelopment plan. Following demolition, the sponsor intends to construct a new freestanding Dutch Bros Coffee drive-thru building and a separate pad site for an Andy's Frozen Custard quick-service restaurant with a drive-thru component. The project will transform an underutilized restaurant property into a modern, fully occupied retail development consistent with the character of the surrounding 75th Street commercial corridor.

The property will operate under a Declaration establishing cross-access, cross-parking rights, shared circulation, and maintenance obligations among the future parcels, with each owner responsible for the operation and upkeep of their respective improvements.

Variation Requests: Zoning: B-3 PUD (5A-8-4 – B-3 General Business District):

5A-8-4-4 – Special Use Required for Drive-In and Drive-Through Establishments

A Special Use Permit is required for drive-through facilities.

- Drive-through required for Andy's Frozen Custard
- Drive-through required for Dutch Bros Coffee

5A-8-4-7 – Minimum Lot Area:

The minimum lot area shall be not less than six (6) acres.

- Dutch Bros Lot Area: approximately 0.60 acres
- Andy's Frozen Custard Lot Area: approximately 0.80 acres

5A-8-4-8 – Yard Requirements:

Front Yard – Minimum 50 feet required. Off-street parking is not permitted within the first 50 feet of the required yard.

- Dutch Bros Front Yard: 30.2 feet – Variance Required
- Andy's Frozen Custard Front Yard: 30.2 feet – Variance Required

Side Yard – Minimum 40 feet required. Off-street parking is not permitted within the first 20 feet of the required yard.

- Between Andy's and Dutch Bros: 0 feet
- Andy's Frozen Custard East Side Yard: 3.2 feet – Variance Required
- Dutch Bros West Side Yard: 10.4 feet – Variance Required

5A-10-6 – Parking Lot Landscaping Requirements:

Perimeter parking lot landscape areas adjacent to parking spaces must include one shade tree and thirty-seven (37) shrubs for each one hundred (100) linear feet of parking.

- Parking spaces are located along 75th Street, where required shade trees may impact visibility of the retail uses – Variance Required

5A-10-7 – Foundation and Refuse Area Landscaping:

Foundation landscaping must be provided on all sides of a principal building.

- The site plan does not include continuous foundation landscaping due to outdoor dining and patio areas – Variance Required

5A-11-2-1 – General Parking Lighting Requirements:

Lighting for off-street parking areas must comply with Illuminating Engineering Society (IES) standards and be directed away from adjoining properties and public streets.

- Andy's Frozen Custard prototype includes canopy lighting that typically requires a variance – Variance Required

5A-11-5 – Off-Street Parking and Loading Requirements:

- Eating establishments: 1 parking space per 3 seats – No Variance Required
- Eating establishments with drive-through: 15 stacking spaces – No Variance Required

4-3-7 – General Sign Regulations:

Wall Signage

- Wall signage is limited to two (2) square feet per linear foot of building frontage, up to a maximum of 500 square feet. Additional signage may be permitted for buildings with frontage on multiple streets. – Variance Required

Ground Signage

- Only one ground sign per street frontage is permitted. Ground signs are limited to sixty (60) square feet per side and a maximum height of twelve (12) feet above grade. – Variance Required

Economic Incentive Request:

Core is requesting a Sales Tax Reimbursement incentive in order for the developer to complete the redevelopment of the former TGI Fridays. Economic assistance is required to effectuate the redevelopment of the property due to the inflated construction and financing cost environment in existence today. A Sales Tax Reimbursement agreement has been solidified for this particular property during the initial shopping center development establishing precedent for economic assistance at Darien Towne Centre. Core’s proposal would be to split the 1.25% provided by the sales of Dutch Bros and Andy’s Frozen Custard over a 10 year period fashioned similar to the original agreement for the Darien Towne Centre development. Developer has outlined the below estimated reimbursement proposal below on how the reimbursement would work between Core and Darien:

Estimated Year 1 Sales: \$3,500,000
 Estimated Year 1 Sales Tax: \$43,750
 Sales Tax Waterfall:

- First \$20,000 in sales tax to the City
- Second \$20,000 in sales tax to the Developer
- Any overage over \$40,000 in sales tax to be split 50/50 between City and Developer

SALES TAX SHARING PROJECTION								
YEAR	ESTIMATED SALES	TOTAL SALES TAX	CITY PREFERENCE	DEVELOPER SHARE	CITY 50.00%	DEVELOPER* 50.00%	TOTAL CITY	TOTAL DEVELOPER
1	\$ 3,500,000.00	\$ 43,750.00	\$ 20,000.00	\$ 20,000.00	\$ 1,875.00	\$ 1,875.00	\$21,875.00	\$ 21,875.00
2	\$ 3,605,000.00	\$ 45,062.50	\$ 20,000.00	\$ 20,000.00	\$ 2,531.25	\$ 2,531.25	\$22,531.25	\$ 22,531.25
3	\$ 3,713,150.00	\$ 46,414.38	\$ 20,000.00	\$ 20,000.00	\$ 3,207.19	\$ 3,207.19	\$23,207.19	\$ 23,207.19
4	\$ 3,824,544.50	\$ 47,806.81	\$ 20,000.00	\$ 20,000.00	\$ 3,903.40	\$ 3,903.40	\$23,903.40	\$ 23,903.40
5	\$ 3,939,280.84	\$ 49,241.01	\$ 20,000.00	\$ 20,000.00	\$ 4,620.51	\$ 4,620.51	\$24,620.51	\$ 24,620.51
6	\$ 4,057,459.26	\$ 50,718.24	\$ 20,000.00	\$ 20,000.00	\$ 5,359.12	\$ 5,359.12	\$25,359.12	\$ 25,359.12
7	\$ 4,179,183.04	\$ 52,239.79	\$ 20,000.00	\$ 20,000.00	\$ 6,119.89	\$ 6,119.89	\$26,119.89	\$ 26,119.89
8	\$ 4,304,558.53	\$ 53,806.98	\$ 20,000.00	\$ 20,000.00	\$ 6,903.49	\$ 6,903.49	\$26,903.49	\$ 26,903.49
9	\$ 4,433,695.28	\$ 55,421.19	\$ 20,000.00	\$ 20,000.00	\$ 7,710.60	\$ 7,710.60	\$27,710.60	\$ 27,710.60
10	\$ 4,566,706.14	\$ 57,083.83	\$ 20,000.00	\$ 20,000.00	\$ 8,541.91	\$ 8,541.91	\$28,541.91	\$ 28,541.91
TOTAL	\$40,123,577.59	\$501,544.72	\$ 200,000.00	\$ 200,000.00	\$50,772.36	\$ 50,772.36	\$250,772.36	\$250,772.36

**Accompanying
Exhibits:**

- Exhibit A – Owner Authorization Letter
- Exhibit B – Proof of Ownership
- Exhibit C – Existing Plat of Survey
- Exhibit D – Neighbor List
- Exhibit E – Application
- Exhibit F – Reimbursement Agreement
- Exhibit G – Proposed Plat of Survey
- Exhibit H – Dutch Bros Elevations
- Exhibit I – Dutch Bros Floor Plan
- Exhibit J – Andy’s Elevations
- Exhibit K – Dutch Bros Rendering
- Exhibit L – Andy’s Rendering
- Exhibit M – Preliminary Engineering Plans
- Exhibit N – Stormwater Summary
- Exhibit O – Landscape Plans

Sincerely,

Adam Firsell - Manager
Core Ventures, LLC

GENERAL PLANTING SPECIFICATIONS:

PART 1 - GENERAL

1-01 DESCRIPTION:

- A. Provide trees, shrubs, perennials and groundcovers as shown and specified. This work includes:
1. Spreading of topsoil or soil preparation
2. Trees, shrubs, perennials and groundcovers
3. Planting mixes
4. Mulch and planting accessories
5. Fertilizer and herbicide
6. Maintenance
7. Warranty of plant material
B. The Contractor shall verify all existing conditions and dimensions in the field prior to bidding and report any discrepancies to the Owner or his/her representative.

1-02 QUALITY ASSURANCE:

- A. Comply with site work requirements
B. Plant names indicated must comply with 'Standardized Plant Names' as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties which are not listed should conform with those generally accepted by the nursery trade. Stock should be legibly tagged.
C. All plant materials shall conform to the American Standards for Nursery Stock (ANSN), latest edition, published by the American Association of Nurserymen, Washington, D.C.
D. All plant material shall be grown and supplied within a 50 mile radius of the project for a minimum of two fall growing seasons.

- E. Adhere to siting requirements as listed in the plant list and/or bid form for the project. A plant shall be measured in its natural standing position.
F. Stock that is furnished shall be at least the minimum stock size. With permission of the landscape architect, substitution from the specified plant list will be accepted only when satisfactory evidence in writing is submitted to the landscape architect that the plant specified is not available. Requests for approval of substitute plant material shall include common and botanical names and size of substitute material. Only those substitutions of at least equivalent size and character to that of the specified material will be accepted. Stock which is larger than that which is specified is acceptable with permission of the landscape architect, providing there is no additional cost and that the larger plant material will not be cut down in order to conform to the size indicated.
G. All shrubs shall be dense in form. Shrubs need to meet these specifications. Shrubs specified by height shall have a spread that is equal to the height measurement. Shrubs which are specified by spread shall exhibit the natural growth habit of the plant by having a greater spread than height.

- H. All plant materials are subject to inspection and approval. The landscape architect and Owner reserve the right to select and tag all plant material at the nursery prior to planting. The landscape architect and Owner reserve the right to inspect plant material for size and condition of root systems, the presence of insects and diseases, injuries and latent defects (due to Contractor negligence or otherwise), and to reject unacceptable plant material at any time during progress of the project.
I. Container grown deciduous and/or evergreen shrubs will be acceptable in lieu of balled and burlapped shrubs subject to specified limitations for container grown stock. Size of container grown material must conform to size height requirements of the plant list.

1-03 DELIVERY, STORAGE & HANDLING:

- A. Fertilizer shall be delivered in original, unopened and undamaged packaging. Containers shall display weight, analysis and manufacturer's name. Store fertilizer in a manner that will prevent wetting and deterioration.
B. Take all precautions customary concerning proper trade practice in preparing plants for transport. Plants shall be dug, packed and transported with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock and on arrival, the certificate shall be filed with the landscape architect. All plants must be protected from drying out. If plant material cannot be planted immediately upon delivery, said material should be properly protected in a manner that is acceptable to the landscape architect. Heeled-in plants must be watered daily. No plant shall be bound with rope or wire in a manner that could strip bark or break or shear branches.
C. Plant material transported on open vehicles should be covered with a protective covering to prevent wind burn.
D. Dry, loose topsoil shall be provided for planting bed mixes. Muddy or frozen topsoil is unacceptable as working with medium in this condition will destroy its structure, making root development more difficult.

1-04 PROJECT CONDITIONS:

- A. Notify landscape architect at least seven (7) working days prior to installation of plant material.
B. It shall be the Contractor's responsibility to locate and protect all existing above and below ground utilities. Utilities can be located and marked (in Illinois) by calling J.U.L.I.E. at (800)892-0123.
C. The Contractor shall provide, at his/her own expense, protection against trespassing and damage to seeded areas, planted areas, and other construction areas until the preliminary acceptance. The Contractor shall provide barricades, temporary fencing, signs, and written warning or policing as may be required to protect such areas. The Contractor shall not be responsible for any damage caused by the Owner after such warning has been issued.
D. The Contractor shall be responsible for the protection of grounds, trunks and roots of existing trees, plus shrubs, lawns, paved areas and other landscaped areas that are to remain intact. Existing trees, which may be subject to construction damage, shall be boxed, fenced or otherwise protected before any work is started. The Owner desires to preserve those trees within and adjacent to the limits of construction except those specifically indicated to be removed on the Drawings. The contractor shall erect protective tree fencing and tree armor at locations indicated on the drawings and around all trees on site which are to be preserved. Protective fencing shall be erected between the limits of construction and any tree preservation areas shown on the Drawings.
E. A complete list of plants including a schedule of sizes, quantities and other requirements is shown on the Drawings and on the bid form. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

1-05 PRELIMINARY ACCEPTANCE:

- A. All plantings shall be maintained by the Contractor for a period of 90 days after preliminary acceptance by the Owner or his/her representative. Maintenance shall include, but is not limited to: mowing and edging turf, pulling weeds, watering turf and plant material and annual flower maintenance.

1-06 WARRANTY:

- A. All plant material (excluding annual color), shall be warranted for one (1) year after the end of the 90 day maintenance period. The end of the maintenance period is marked by the final acceptance of the Contractor's work by the Owner or his/her representative. Plant materials will be warranted against defects including death and unsatisfactory growth, except for defects resulting from abuse or damage by others, or unusual phenomena or incidents which are beyond the control of the Contractor. The warranty covers a maximum of one replacement per item.

PART 2 - PRODUCTS

2-01 PLANT MATERIALS:

- A. Plants: Provide typical of their species or variety, with normal, densely developed branches and vigorous, fibrous root systems. Only sound, healthy, vigorous plants which are free from sunscald injuries, disfiguring knots, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation shall be provided. All plants shall have a fully developed form without voids and open patches.
1. Balled and burlapped plants shall have a firm natural ball of earth of sufficient diameter and depth to encompass a root system necessary for a full recovery of the plant. Root ball sizes shall comply with the latest edition of the American Standards for Nursery Stock (ANSN). Root balls that are cracked or mushy are unacceptable.
2. Container grown stock should be grown for an amount of time that is of sufficient length for the root system to have developed enough to hold its soil together, firm and whole. Plants will not be loose in their containers, nor shall they be pot-bound and all container grown stock will comply with the sizes stated on the plant list.
3. No evidence of wounds or pruning cuts shall be allowed unless approved by the Landscape Architect.
4. Evergreen trees shall be burlapped to the ground. The height of evergreen trees are determined by measuring from the ground to the first lateral branch closest to the top. Height and/or width of other trees are measured by the mass of the trunk of the plant not the very tip of the branches.
5. Shrubs and small plants shall meet the requirements for spread and/or height indicated in the plant list. The height measurement shall be taken from ground level to the average height of the top of the plant, not the longest branch. Single stem or thin plants will not be accepted. Side branches shall be flushed with growth and have good form to the ground. Plants shall be in a moist, vigorous condition, free from dead wood, bruises or other root or branch injuries.

2-02 ACCESSORIES:

- A. Topsoil:
1. Topsoil shall be fertile, natural topsoil of a loamy character, without admixture of subsoil material. Topsoil shall be reasonably free from clay lumps, coarse sand, stones, plants, roots, sticks and other foreign materials with a pH between 6.5 to 7.0.
B. Topsoil for seed areas shall be a minimum of 6".
C. Soil amendments shall be as follows:
1. For trees and shrubs the plant pit will be backfilled with pulverized black dirt.
2. For perennials and ornamental grasses the soil mixture will be as follows: 1/3 mushroom compost, 1/3 sand, 1/3 topsoil, mixed thoroughly. Top beds with 8" of this mix and till into existing beds to a depth of 6".
D. Fertilizer:
1. For trees and shrubs use: 14-4-6 brigatites 17 or equivalent available from Arthur Cesen, Inc. Follow manufacturer's recommendation with application. Arthur Cesen, Inc. 543 Diens Drive, Wheeling, IL 60090 (847)537-2177
2. For turf areas use: 6-24-16 Clesen Fairway with micronutrients with minor elements 3.0% S, .02% B, .05% Cu, 1.0% Fe, .0005% Mo, .10% Mn available from Arthur Cesen or approved equivalent.
E. Herbicide:
1. Round-Up or approved equal
F. Mulch:
1. Bark mulch shall be finely shredded hardwood bark which has been screened and is free of any green foliage, twigs, rocks, sawdust, wood shavings, growth or germination inhibiting ingredients, or other foreign materials. Bark mulch is available from Midwest Trading, St. Charles, IL 60174 (630) 985-1990.
2. Mushroom compost is available from Midwest Trading, Midwest Trading, St. Charles, IL 60174 (630) 985-1990.
G. Water:
1. Water service will be available on the site, with the cost of water being paid by the Owner. Transporting of the water from the source to the work areas shall be the responsibility of the Landscape Contractor. All necessary hoses, piping, tank truck, etc. shall be supplied by the Landscape Contractor.
H. Guying:
1. Stakes: 5/8" x 40" steel eye anchor with 4" helix
2. Cable:
a. Trees under 5": flexible 1/8" galvanized aircraft cable, 7/7 strand or approved equal.
b. Trees 5" and over: flexible 3/16" galvanized aircraft cable, 7/7 strand or approved equal.
3. Turnbuckles: 5/16", eye and eye, with 4" takeup.
4. Hose: new two-ply reinforced rubber hose, minimum 1/2" I.D.

PART 3 - INSTALLATION OF PLANT MATERIAL

3-01 FIELD VERIFICATION:

- A. Examine proposed planting areas and conditions of installation. Do not start planting work until unsatisfactory conditions are corrected.

3-02 PREPARATION:

- A. All planting techniques and methods shall be consistent with the latest edition of Horticulture Standards of Nurserymen, Inc. and as detailed on these Drawings.
B. Planting shall be performed by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.
C. All underground utilities must be located and marked clearly.
D. Apply Round-Up or approved equivalent to kill any existing vegetation in all areas to be planted. Confirm length of waiting period between chemical application and plant installation with manufacturer. Do not begin planting operations until prescribed post-application waiting period has elapsed. Take extreme care to avoid chemical drift to adjoining properties of landscape plantings.
E. Prior to all planting, rototill all areas to be landscaped to prepare for plant installation of a minimum depth of 12". Eliminate uneven areas and low spots. Maintain trees, levels, profiles and contours. Changes in grade are to be gradual. Blend slopes into levels areas. Remove all debris, weeds and

- undesirable plants and their roots from areas to be planted. Remove all concrete slag larger than 2" in diameter.
F. Topsoil shall be spread over the site at a minimum depth of 6". Those areas which are indicated as prairie or natural areas on the Drawings shall have a minimum topsoil depth of 18".
G. It shall be the responsibility of the landscape contractor to prepare all seeded areas by disk and raking prior to planting seed. Soil shall be loosened and scarified to a minimum depth of 6". Fine grading of all seeded areas is required. Maximum size of stone or topped lump is 1".
H. Locate all plant material as indicated or as approved in the field by the Landscape Architect. If obstructions are encountered which are not shown on the drawings, then do not proceed with planting operations until alternate plant locations have been selected.
I. Planting holes shall be constructed as shown on the planting details. Holes shall be hand dug or machine dug. Great care will be taken to not excavate the hole deeper than the root ball and the diameter shall be a minimum of two times the root width. Remove any materials encountered in excavation that may be injurious to plant growth, including stones larger than 2" in diameter or other debris. Soil to be used as backfill should be pulverized.
J. Provide pre-mixed planting mixture for use around root systems and root balls of the plants. The mixtures are outlined in section B of part 2-02.
K. Prior to planting, provide additional topsoil to all planting beds to bring the finish grade of the bed to 2" above lawn grade and to finish grade of adjacent hard surface grades.
L. Add 2" thickness of mushroom compost to all annual, perennial and groundcover beds. Finish grade bed and install plants.

3-03 PLANTING PROCEDURES:

- A. Set plant material in the planting hole to proper grade and alignment. Set plants upright and plumb. Set plant material root flare 2" above the adjacent finish grade. Remove burlap from top 1/3 of root ball. Remove treated root flare (green). Cut and remove or cut and fold down upper half of wire basket, dependent upon tree size. Backfill by firmly tamping soil to avoid any pockets or voids. All ropes/cords shall be removed from base of trunk.
B. Set balled and burlapped plants in the planting hole and compact 8" of soil around the base of the ball. Backfill remaining space with planting mixture. Water plants immediately after planting to eliminate all voids throughout space the plant ball occupies.
C. Space groundcover plants according to dimensions given on the plans. Adjust spacing as necessary to verify filling planter bed with indicated number of plants. Plant to within 18" of the trunks of trees and shrubs or at the edge of the plant ball, whichever is closest. Plant to within 12" of edge of bed.
D. Mulching:
1. Install 4" depth of mulch around all tree and shrub beds as indicated on drawings or planting details. Mulch shrub planting areas as continuous beds. Do not place mulch directly against tree trunk; form mulch to create an inverted cone around trunk.
2. Mulch perennial, groundcover and annual planting beds with 2" mushroom compost. Water mulched areas thoroughly after planting mix is set.
E. Tree wrapping is not required, unless the Contractor feels it is necessary due to characteristics of a particular species or past experience with the species. The landscape architect will be notified as to which trees are to be wrapped and shall inspect the trunk(s) before wrapping. Tree wrap will not be used to cover damage or defects. When wrapping is done, trunks will be wrapped spirally with approved tree wrapping tape that is not less than 4" wide, and securely tied with suitable cord at the top, bottom and 2" intervals along the trunk. Wrap from ground to the height of the first branch.

- F. Staking and guying of trees is optional. If the Contractor chooses to stake all or part of the trees, he/she shall use the method specified in the planting details. One (1) stake is to be used on trees of 1" caliper and under, or of height and under. Two (2) stakes are to be used on trees of 1" to 2 3/4" caliper. Guy trees of 3" caliper or larger at three (3) per tree. The root ball will not be pierced with a stake. Stakes are to be driven at least eighteen (18) inches into and below the planting hole. Stakes and wire attachments shall be removed after three months for spacing planted material and by the following May for fall planted stock by the Contractor. Staking and guying should be done immediately after lawn seeding or sodding operations.
G. Seeding of specified lawn areas on plans will be treated as follows:
1. Topsoil shall be spread over all areas to be seeded to a minimum depth of 6" when compacted (to be performed by others).
2. Seed mixture and application rate - use Premium seed mix as supplied by Arthur Cesen, Inc. Apply at a rate of 5 lbs./1000 s.f.
3. Apply fertilizers and conditioners at the rate specified per soil test findings. In lieu of soil test results, apply two (2) tons of ground agricultural limestone and 1000 lbs. 10-10-10 or equivalent analysis fertilizer per acre. At least 40% of the fertilizer nitrogen shall be of an organic origin.
4. Soil preparation areas where vehicular traffic has compacted the soil shall be loosened/scarified to a minimum depth of 6" before fertilizing and seeding. Fine grading of all seeded areas is required. Maximum size of stone or topped lump is 1".
5. Watering seeded areas shall be done to ensure proper germination. Once seeds have germinated, watering may be decreased but the seedlings must never be allowed to dry out completely. Frequent watering should be continued approximately four (4) weeks after germination or until grass has become sufficiently established to warrant watering on an "as needed" basis.
6. Turf is being established on a variety of slope conditions. It shall be the Contractor's responsibility to determine and implement whatever procedures he/she deems necessary to establish the turf as part of his/her work. Seeded areas will be accepted when all areas show a uniform stand of the specified grass in healthy condition and at least 90 days have elapsed since the completion of this work. The Contractor shall submit with his/her bid a description of the methods and procedures he/she intends to use.

- H. Erosion Control Blanket:
1. Erosion Control Blanket shall be installed per manufacturer's recommendation in all areas shown on the plan.
2. Install S-75 Erosion Control Blanket as manufactured by North American Green or approved equal.
3. Blanket should be pre-moistened with staple pattern.
4. Staples should be 8" wire staples, applied at two (2) per square yard minimum.
5. Suitable erosion control practices shall be maintained by the CONTRACTOR in accordance with Illinois Urban Manual and all applicable Soil Erosion and Sedimentation Control ordinances and standards of ANSI.
I. Sodding of specified lawn areas on plans will be completed as follows:
1. Raise soil surface to receive sod to completely remove any soil crust no more than one day prior to laying sod.
2. Moistened prepared surface immediately prior to laying sod. Water thoroughly and allow surface moisture to dry before planting lawns. Do not create a muddy soil condition.
3. Sod shall be laid within 24 hours from the time of shipping. Do not plant plant sod or if the

- ground is frozen.
4. Lay sod to form a solid mass with lightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Work affected soil into minor cracks between pieces of sod; remove excess to avoid smothering of seed soil.
5. Place topsoil over sod 1/2 inch into adjoining edging or paving.
6. Water sod thoroughly with a fine spray immediately after planting.
7. After sod and soil have dried, root seeded areas to ensure a good bond between the sod and soil, and to remove minor depressions and irregularities.
8. Sodded slopes 3:1 or greater shall be staked to prevent erosion and washout.
9. Warranty sodding for a period of one (1) year from the end of the 90 day maintenance period. If sod fails or lacks vigor and full growth as determined by the Landscape Architect, the Contractor will repeat site preparation operations and re-affected areas at the Contractor's expense.
10. Note: Sod shall be a premium Kentucky Bluegrass blend, and is required in all areas indicated on the plans as well as areas which will have been affected by construction. Sod can be placed as long as water is available and the ground surface can be properly prepared. Sod shall not be laid on frozen or snow-covered ground. Sod shall be strongly rooted, not less than two (2) years old and free of weeds and undesirable native grasses. Sod should be machine cut to pad thickness of 3/4" (plus or minus 1/4"), excluding top growth and thatch. Provide only sod capable of vigorous growth and development when planted (viable, not dormant). Provide sod of uniform pad sizes with maximum 5% deviation in either length or width. Broken pads or pads with uneven ends will not be acceptable. Sod pads incapable of supporting their own weight when suspended vertically with a firm grasp on the upper 10% of pad will not be accepted.

J. Timing of plant material and seeding operations:

- 1. Seeding of specified areas shall occur when the soil temperature is above 55° F. No seed shall be sown during periods of high winds, or when the ground is not in proper condition for seeding (see section 3-02 (G)). Seeding operations for the specified mixes shall occur in the spring time frame of April 15 through June 30 and in the summer time frame of August 15 through December 1. The mixes containing bluegrass and fescue seed must have six weeks to harden off for winter survival.
2. Sod shall be installed when the ground is not frozen or snow covered and temperatures are less than 80° F. It shall not be placed during a period of extended drought.
3. Herbaceous ornamental plants shall be planted between May 1 and June 15 or between August 15 and December 1.
4. Spring planting of woody ornamental plants shall be performed from the time the soil can be easily worked until June 11, except that evergreen planting shall end on May 15. Oak, hawthorn and red maple species will only be planted during this spring planting period. Fall planting will begin August 15 and will continue until the ground cannot be worked satisfactorily, except that evergreen planting shall be performed between August 15 and December 1.

3-04 MAINTENANCE:

- A. All plantings shall be maintained by the Contractor for a period of 90 days after preliminary acceptance by the Owner or his/her representative. Maintenance shall include but is not limited to: mowing and edging turf, pulling weeds, watering turf areas and plant material plus annual flower maintenance. The Contractor will re-set settled plants to proper grade and position. Dead material will be removed. Stakes and guy wires will be tightened and repaired as required.

3-04 ACCEPTANCE:

- A. All plant material (excluding annual color), shall be warranted for one (1) year after the end of the 90 day maintenance period. The end of the maintenance period is marked by the final acceptance of the Contractor's work by the Owner or his/her representative.

3-06 SITE CLEAN-UP:

- A. The Contractor shall protect the property of the Owner and the work of other contractors. The Contractor shall also be directly responsible for all damage caused by the activities and for the daily removal of all trash and debris from his/her work area to the satisfaction of the landscape architect.

DATE: 03/20/13 11:03 AM DRAWN BY: JSM CHECKED BY: JSM DATE PLOTTED: 03/20/13 11:03 AM

Manhard CONSULTING logo and contact information: 2201 75TH STREET, CITY OF DARIEN, ILLINOIS, LANDSCAPE SPECIFICATIONS

2201 75TH STREET, CITY OF DARIEN, ILLINOIS, LANDSCAPE SPECIFICATIONS, SHEET L3 OF L3, CAD:DLR101



Business Narrative Letter

To Whom It May Concern,

This letter is submitted to provide a formal business narrative for a Dutch Bros Coffee location. Dutch Bros Coffee is a nationally recognized specialty beverage retailer known for high-quality coffee, handcrafted energy drinks, and exceptional customer service.

The proposed Dutch Bros Coffee location will operate daily, with typical hours of operation from **5:00 a.m. to 11:00 p.m.**, or to the extent permitted by local municipal regulations. Operating hours are designed to accommodate early-morning commuters as well as evening customers while remaining compliant with all applicable local ordinances.

The business will primarily serve customers through a **drive-thru and walk-up service model**. Orders are taken in a highly personable manner, often directly at the customer's vehicle by trained team members using handheld point-of-sale devices. This approach allows for efficient order processing, personalized customer interaction, and minimized vehicle queuing times. Walk-up service is also provided for pedestrians, cyclists, and customers who prefer not to use the drive-thru.

At any given time, the location will typically be staffed by **three (3) to five (5) employees per shift**, depending on time of day and customer volume. Employees are trained to prioritize safety, accuracy, friendliness, and speed of service. The operational model emphasizes quick transaction times and efficient traffic flow, reducing congestion and ensuring a positive customer experience.

Dutch Bros Coffee is widely recognized for its **exceptional customer service, upbeat culture, and fast service times**. The business model focuses on building community connections, providing consistent service quality, and maintaining a clean, well-managed site. All operations will comply with applicable health, safety, zoning, and accessibility requirements.

In summary, this Dutch Bros Coffee location will operate as a low-impact, service-oriented beverage establishment that emphasizes efficiency, customer engagement, and compliance with local regulations. The drive-thru and walk-up format, combined with limited on-site staffing and streamlined operations, allows the business to serve customers quickly while maintaining compatibility with surrounding land uses.

Please feel free to contact us should additional information or clarification be required.

Sincerely,

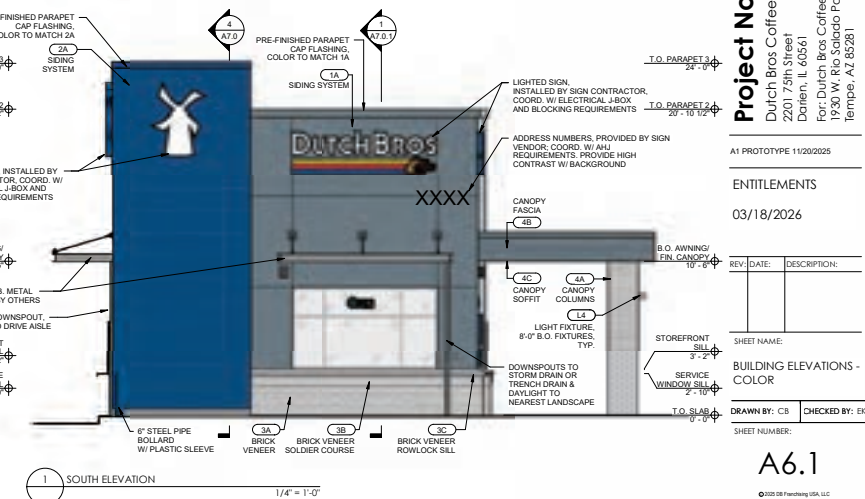
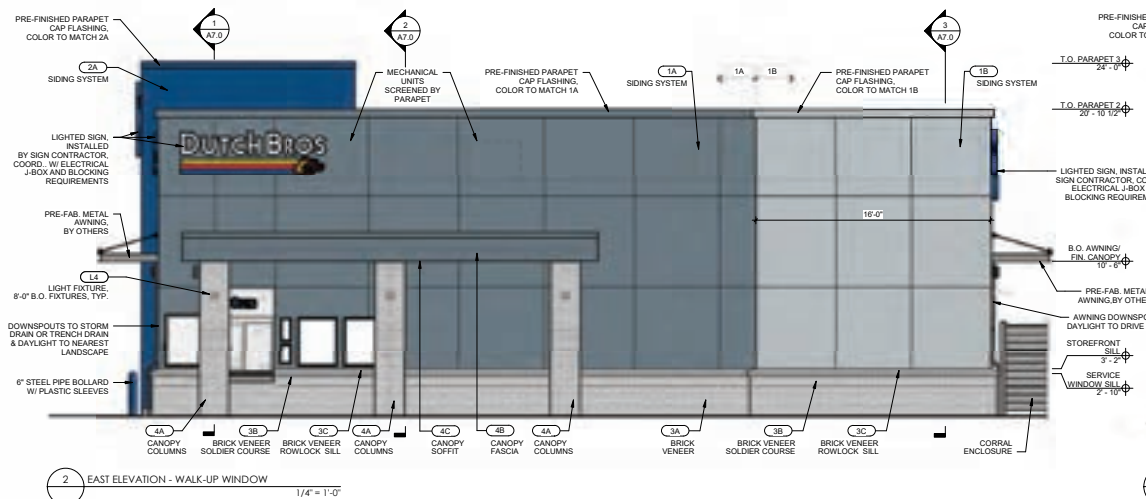
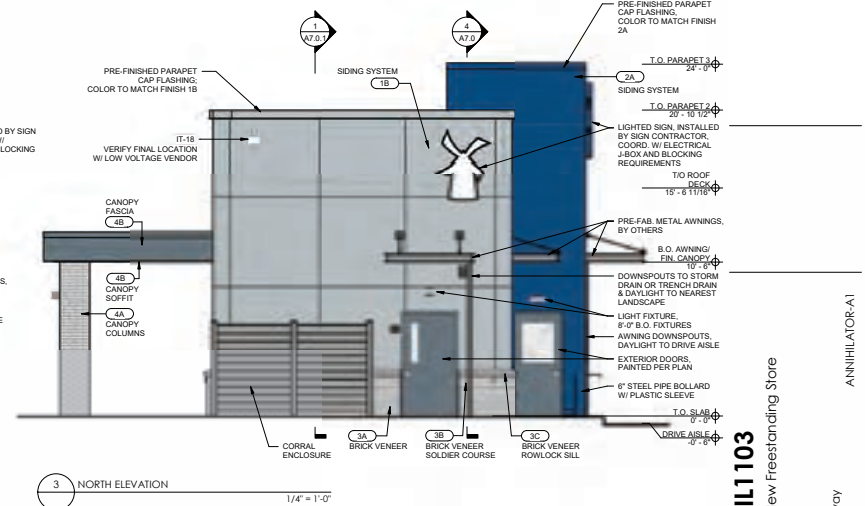
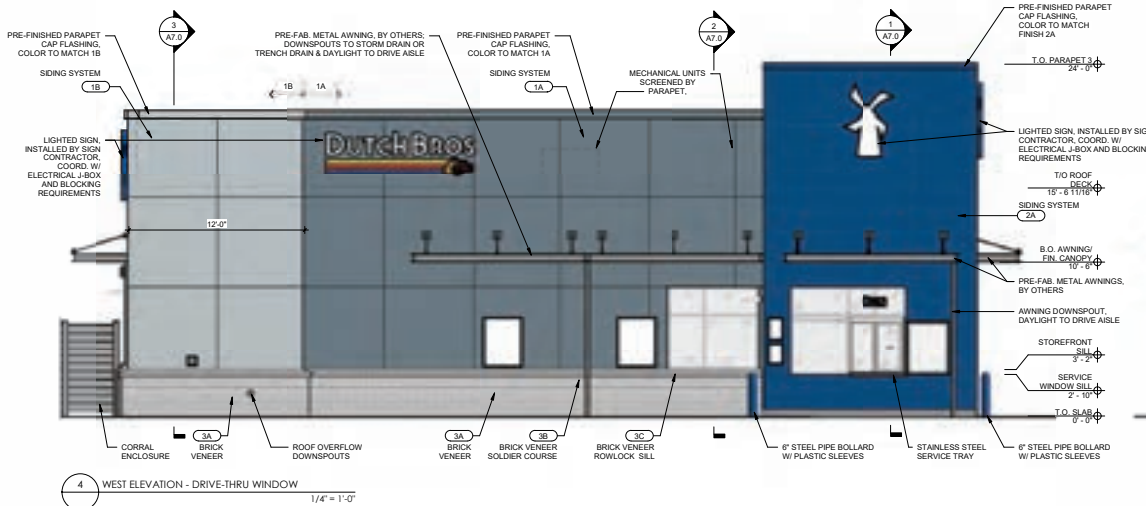
Marc Madden
Construction Project Coordinator
Dutch Bros Coffee
480-296-5905
marc.madden@dutchbros.com



EXTERIOR FINISH SCHEDULE - PROTOTYPICAL w/ CANOPY

NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS AND ALL NECESSARY ADAPTORS AT AWNING AND CANOPY LOCATION. COLOR: BLDG DB DARK GRAY

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	EFS	DRYVIT	OUTSULATION PLUS MD	FINISH: SANDEBBLE FINE COLOR: DBRO D1 102Z S - DARK GRAY
1B	EFS	DRYVIT	OUTSULATION PLUS MD	FINISH: SANDEBBLE FINE COLOR: DBRO D1 102Z S - LIGHT GRAY
ZONE 2 (TOWER)				
2A	FIBER CEMENT SIDING	NICHHA	ILLUMINATION, AWP 1818 W/ FACTORY PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3A	BRICK VENEER	GLEN-GERY	FULL BED FACE BRICK SIZE: MODULAR (2-1/4" H X 3-5/8" W X 7-5/8" L)	COLOR: STONE GREY KLAYCOAT INSTALL: RUNNING BOND PATTERN
3B	BRICK VENEER	GLEN-GERY	FULL BED FACE BRICK SIZE: MODULAR (2-1/4" H X 3-5/8" W X 7-5/8" L)	COLOR: STONE GREY KLAYCOAT INSTALL: SOLDIER COURSE
3C	BRICK VENEER	GLEN-GERY	FULL BED FACE BRICK SIZE: MODULAR (2-1/4" H X 3-5/8" W X 7-5/8" L)	COLOR: STONE GREY KLAYCOAT INSTALL: ROWLOCK SILL
ZONE 4 (FRAMED CANOPY)				
4A	COLUMNS	GLEN-GERY	FULL BED FACE BRICK SIZE: MODULAR (2-1/4" H X 3-5/8" W X 7-5/8" L)	COLOR: STONE GREY KLAYCOAT
4B	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES: COLOR: BLDG DB DARK GRAY
4C	SOFFIT	MEW ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x6 T&G, 1/2" REVEAL, SEALED



Project No: IL1103
 Dutch Bros Coffee - New Free-standing Store
 2001 75th Street
 Downer, IL 60561
 For: Dutch Bros Coffee
 1300 W. Atwood Parkway
 Tempe, AZ 85281

A1 PROTOTYPE 1/12/2025

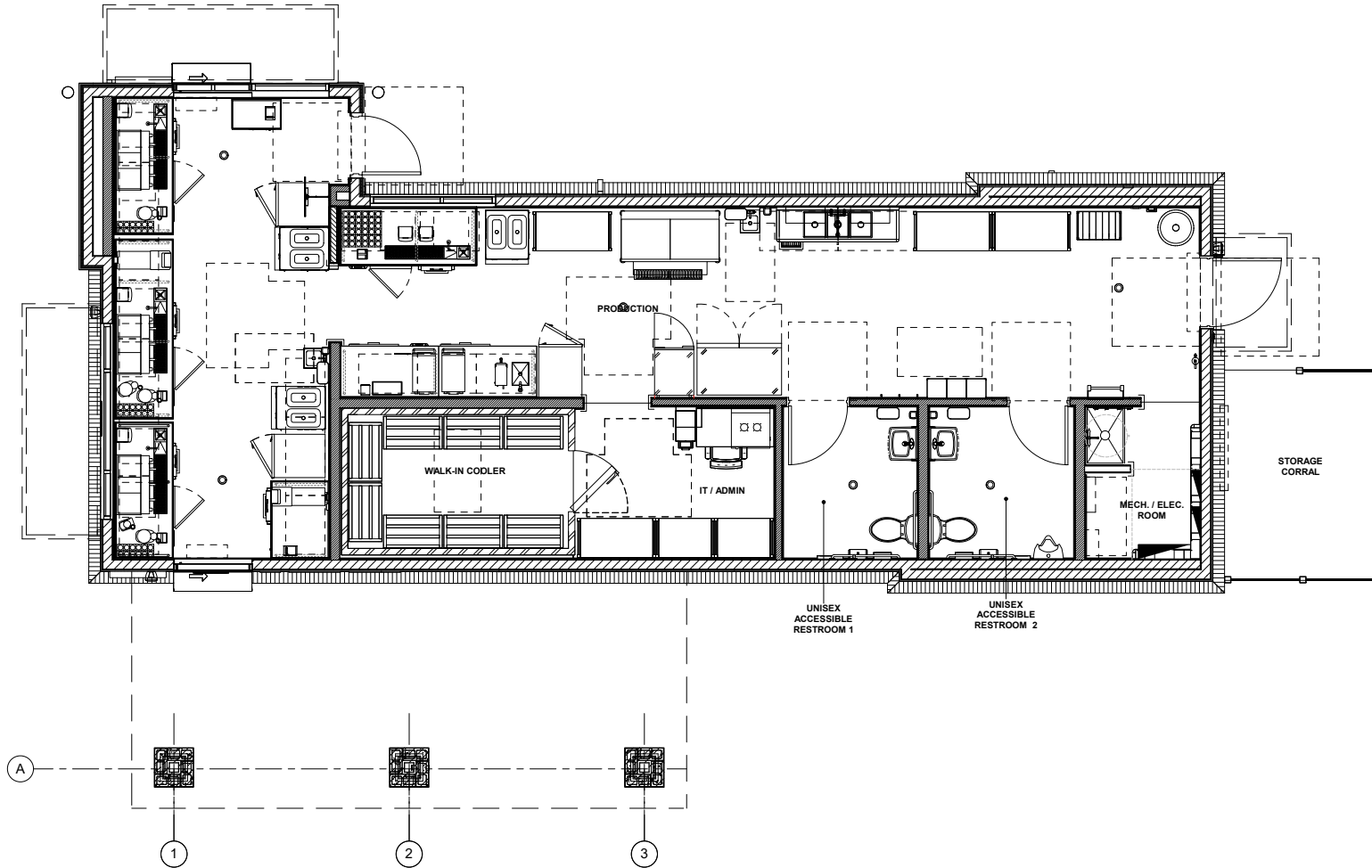
ENTITLEMENTS
 03/18/2026

REV.	DATE	DESCRIPTION

SHEET NAME:
 BUILDING ELEVATIONS - COLOR
 DRAWN BY: CS CHECKED BY: EK
 SHEET NUMBER:

A6.1
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1 EQUIPMENT PLAN

3/8" = 1'-0"



CA
 CHIPMAN DESIGN
 ARCHITECTURE INC
 1350 E TOUHY AVE
 FIRST FLOOR EAST
 DES PLAINES, IL 60018
 TEL: 847.398.4900

NOT FOR CONSTRUCTION

Project No: IL1103
 Dutch Bros Coffee - New Freestanding Store
 2001 79th Street
 Downers Grove, IL 60561
 For: Dutch Bros Coffee
 1930 W. Ardmore Parkway
 Tempe, AZ 85281

ANNILATOR-A1

A1 PROTOTYPE 11/20/2025

ENTITLEMENTS

03/18/2026

REV.	DATE	DESCRIPTION

SHEET NAME:

EQUIPMENT PLAN

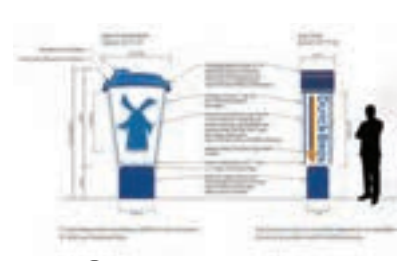
DRAWN BY: CS CHECKED BY: EK

SHEET NUMBER:

A1.0 - ENT.

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- NOTES:**
1. MONUMENT, MENU AND DIRECTIONAL SIGNS BY OTHERS.
 2. ALL SIGN FOOTINGS ARE TO BE VERIFIED BY LICENSED STRUCTURAL ENGINEER PER LOCAL CODES AND SOIL CONDITIONS.
 3. ALL SIGN FOOTINGS BY GENERAL CONTRACTOR.
 4. CHANNEL LETTERS - A WEATHER PROOF JUNCTION BOX IS NEEDED ON THE ROOF. MOUNTED TO THE WALL NEXT TO WHERE THE SIGN IS GOING (NOT DIRECTLY BEHIND THE SIGN). INSTALLER WILL RUN LIQUID TIGHT FROM THE JUNCTION BOX TO THE SIGN TO MAKE THE FINAL CONNECTION.
 5. WINDMILLS - REQUIRE A 4 MC CABLE STUBBED OUT THROUGH THE WALL. COVERED ON THE WINDMILL. INSTALLER WILL MAKE THE FINAL CONNECTION INSIDE OF THE WINDMILL.



15 ILLUMINATED MONUMENT CUP SIGN NTS



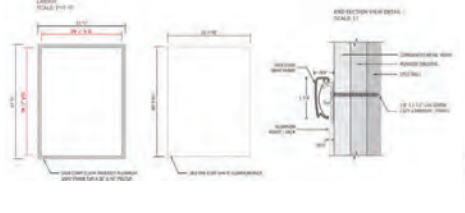
14 BUILDING ADDRESS NUMBERS BY OTHERS - REFERENCE ONLY NTS



13 AWNING CLEARANCE SIGN, BY OTHERS AT DRIVE-THRU WINDOW - REFERENCE ONLY NTS



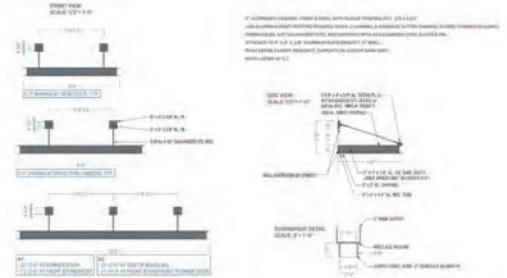
12 BUILDING MENU SIGN BY OTHERS - REFERENCE ONLY NTS



11 BUILDING SIGN, SNAP FRAMES, BY OTHERS - REFERENCE ONLY NTS



10 BUILDING SIGN, WINDMILL, BY OTHERS - REFERENCE ONLY NTS



9 PRE-FAB. METAL AWNINGS, BY OTHERS - REFERENCE ONLY NTS



8 OPEN SIGN - SINGLE, BY OTHERS NTS



7 DIRECTIONAL SIGNS, BY OTHERS - REFERENCE ONLY NTS



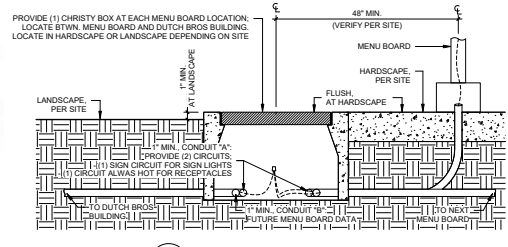
6 BUILDING SIGN, CHANNEL LETTERS, BY OTHERS - REFERENCE ONLY NTS



5 BUILDING NOTICE - REFERENCE ONLY NTS



4 MENU BOARD - SINGLE, BY OTHERS - REFERENCE ONLY NTS



3 MENU BOARD & CHRISTY BOX - REFERENCE ONLY NTS



2 MONUMENT SIGN BY OTHERS - REFERENCE ONLY NTS



1 PYLON SIGN BY OTHERS - REFERENCE ONLY NTS



CD
CHIPMAN DESIGN
 ARCHITECTURE INC
 1350 E TOUHY AVE
 DES PLAINES, IL 60018
 TEL: 847.298.4900

Project No: IL1103
 Dutch Bros Coffee - New Free-standing Store
 2001 75th Street
 Downer, IL 60561
 For: Dutch Bros Coffee
 130 W. Chicago Parkway
 Tempe, AZ 85281

A1 PROTOTYPE 1/20/2025

ENTITLEMENTS
 03/18/2026

REV.	DATE	DESCRIPTION

SHEET NAME:

SITE & BUILDING SIGNAGE DETAILS

SHEET NUMBER:

SP1.1
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Andy's Frozen Custard Companies • 211 E. Water St. • Springfield, MO 65806
417-881-3500 • 888-60-ANDYS • Fax: 417-881-3571

To Whom It May Concern:

The proposed Tenant will be Andy's Frozen Custard. Andy's is a quick-service style restaurant specializing in frozen dessert sales. As we celebrate our 40th year, we have over 180 locations in 15 states. There are currently 20 stores in the Chicagoland area, all of which are corporately operated.

Andy's Frozen Custard is passionate about and dedicated to improving the Andy's Frozen Custard guest experience with an emphasis on exceptional personal service, offering a superior quality product using only the freshest ingredients, and crafted by our accomplished employees.

Our menu consists of frozen treats including sundaes, concretes, Jackhammers, shakes, malts, old-fashioned soda, and freezes, which all feature frozen custard that is made fresh every hour. We do not have grills or fryers, and make sweet waffle cones, brownies, and other baked goods fresh every day.

Our business operates with a drive-thru and patio with walk-up service windows. There is no speaker box as orders are taken the old-fashioned way with face-to-face interaction either on the patio, or at each car with a runner and an iPad. Our speed of service commitment is 80-90 seconds or less, which helps drive-thru lines go quickly and ease of flow with on-site traffic. Our peak service times are 7:00 – 10:00 pm on Fridays and Saturday evenings, which will not conflict with typical morning or evening traffic.

Andy's is committed to being an active member of the community by participating in and sponsoring local events. We have a local marketing / community relations liaison who registers with the local Chamber of Commerce and will utilize those connections to stay informed about specific initiatives and local events. We actively support and contribute to schools, police and fire, parks and recreation, and other small businesses.

Andy's Frozen Custard will be creating approximately 25 new employment opportunities for residents which will include part-time for students and full-time managerial roles. We offer a fun, clean, collaborative and safe environment and have specialized training programs that enable our

employees to succeed. There is an opening shift (2-3 employees) and closing shift (4-10 employees). The typical hours of operation are 11:00 am – 11:00 pm Sunday through Thursday, and open until 11:30 pm Friday through Saturday. During our peak season, Memorial Day to Labor Day, we are open 30 minutes later each night.

Please do not hesitate to contact me with any questions.

Sincerely,

Liana Moore

Development Project Manager

Andy's Frozen Custard Stores, LLC

417-631-1878

liana.moore@eatandys.com

Hufft

PROJECT INFORMATION
Andy's Frozen Custard - Darien
 2201 75th St, Darien, IL 60541

OWNER
 ANDY'S FROZEN CUSTARD
 211 S. Weber Street
 Springfield, MO 65806

ARCHITECT
 HUFFT
 3012 Karlov Boulevard
 Kansas City, MO 64111
 P: 816-241-0200
 www.hufft.com

STRUCTURAL
 METTEMAYER ENGINEERING, LLC
 2555 W. Chouteau Blvd., Suite 300
 Springfield, MO 65807
 P: 417-880-8000

MEP
 RTM ENGINEERING CONSULTANTS
 3333 E. Beaufort Road, Suite 100
 Springfield, MO 65804
 P: 417-881-0200

LANDSCAPE ARCHITECT
 [Not specified]

PLAN KEYNOTES

- 1 FIRE EXTINGUISHER CABINET, RE: A007
- 2 PANELBOARD(S), RE: ELECT DWGS
- 3 BUILDING SIGNAGE, RE: ELECT DWGS
- 4 OUTDOOR PATIO, CONCRETE SLAB W/ SEALER
- 5 PATIO GANGWAY AND STRUCTURE, RE: STRUCT DWGS, STEEL COLUMNS, PTD
- 6 DRIVE THRU CANOPY, RE: STRUCT DWGS
- 7 CUSTARD MACHINE SHUT-OFF SWITCH, RE: MEP DWGS
- 8 CUSTARD MACHINE TO STRADDLE FLOOR SINKS
- 9 WALK-IN COOLER/FREEZER, COORDINATE WITH SUPPLIER
- 10 PROVIDE HOT AND COLD WATER HOSE BIB ON WALL BEHIND AND ADJACENT TO CUSTARD MACHINES, RE: MEP DWGS
- 11 INSTALL STAINLESS STEEL CORNER GUARDS THROUGHOUT, TYP. ALL EXPOSED CORNERS RE: A007
- 12 CASED OPENING FOR BOH ACCESS
- 13 ANDY'S FROZEN CUSTARD NEON CONE SIGN - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING, SUSPENDED, CONCEAL POWER SUPPLY ALONG INSIDE FACE OF MULLION
- 14 ANDY'S FROZEN CUSTARD "SPEICHER ROOT BEER" NEON SIGN - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING, SUSPENDED, CONCEAL POWER SUPPLY ALONG INSIDE FACE OF MULLION
- 15 SIGNAGE LIGHTING BAND, BY PRINCIPLE SIGN GROUP, RE: ELECT DWGS & SIGNAGE DWGS
- 16 MPD, RE: ELECT DWGS
- 17 TANKLESS WATER HEATERS, RE: MEP DWGS
- 18 WATER SOFTENER, RE: MEP DWGS, KEEP CLOSE TO WALL
- 19 BACK FLOW PREVENTOR, RE: MEP DWGS
- 20 PRESSURE WASHER, RE: MEP DWGS
- 21 WALL SHELVES ABOVE DINNAGE RACKS
- 22 IPAD HOLDER
- 23 ROOF DRAIN DOWN TO BELOW GRADE, RE: PLUMB DWGS, KEEP PIPE CLOSE TO WALL
- 24 OVERFLOW ROOF DRAIN, STUBOUT AT 12" AFF W/ DRAIN NOZZLE, RE: PLUMB DWGS, KEEP PIPE CLOSE TO WALL
- 25 SECURITY PANEL, RE: ELECT

NOTE
 1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, ETC. AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 2. DIMENSIONS ARE FROM GRIDLINES TO FINISH FACE OF NEW PARTITIONS, U.O.N.
 3. REFER TO A101 FOR ADDITIONAL NOTES PERTAINING TO WALL TYPE CONSTRUCTION AND DETAILING.
 4. REFER TO EQUIPMENT PLAN FOR ALL EQUIPMENT.
 5. REFER TO WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.
 6. REFERENCE CIVIL SITE PLAN FOR BUILDING LOCATION AND ORIENTATION ON SITE.

ISSUE
INITIAL SUBMITTAL
02/27/2026

REVISION SCHEDULE
 NO. DATE ISSUE

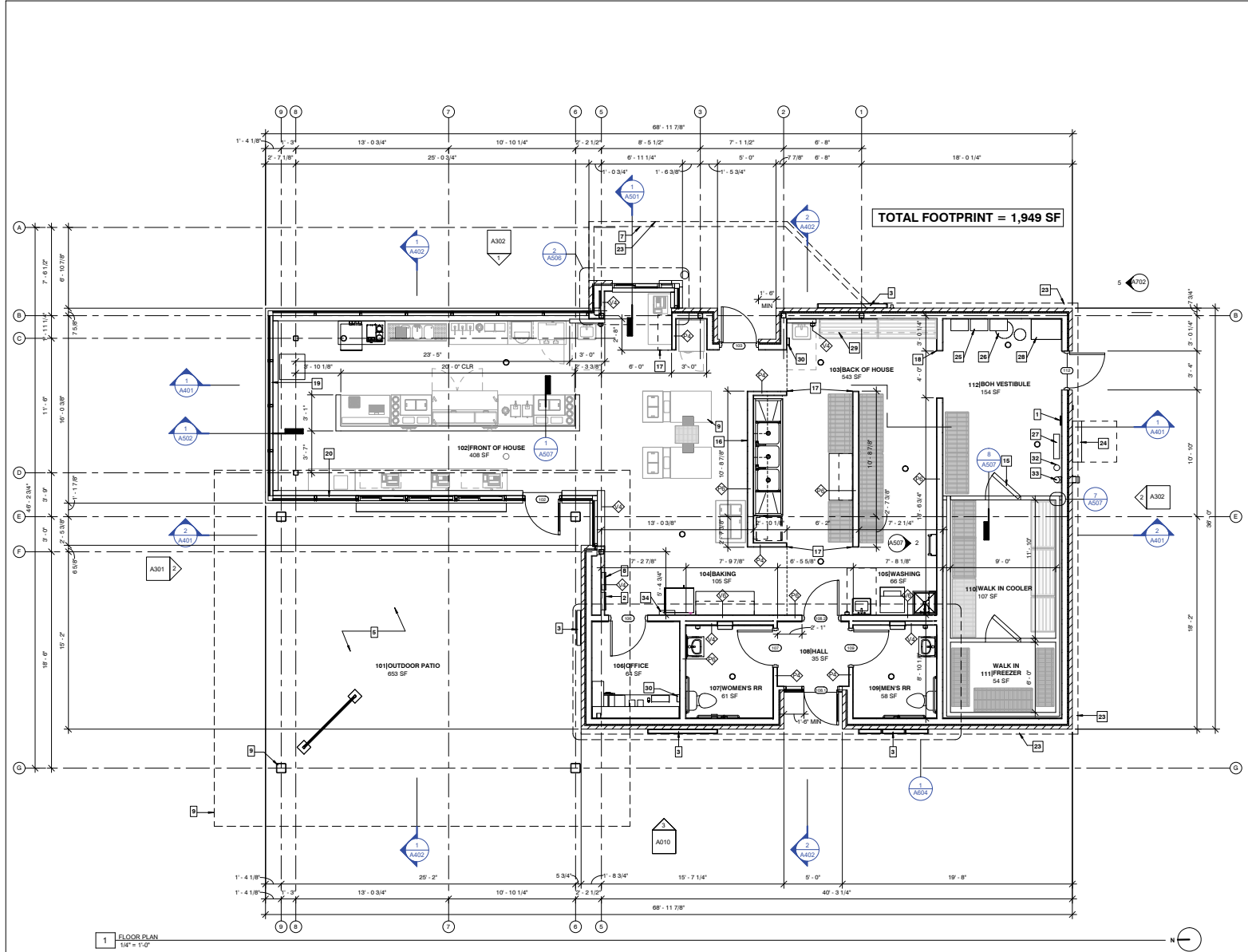
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Architect
 License Number
 Design No. WY
 Project Number: 703

FLOOR PLAN

A101



1 FLOOR PLAN
 1/4" = 1'-0"



Hufft

PROJECT INFORMATION

Andy's Frozen Custard - Darien
 2201 75th St, Darien, IL 60561

OWNER:
 ANDY'S FROZEN CUSTARD
 211 E. Main Street
 Springfield, MO 65806

ARCHITECT:
 HUFFT
 3612 Karlov Boulevard
 Naperville, IL 60563
 P: 630-241-0200
 www.hufft.com

STRUCTURAL:
 METEMEYER ENGINEERING, LLC
 2255 W. Chestnut Blvd., Suite 300
 Springfield, MO 65807
 P: 417-860-8000

CONTRACTOR:
 RTM ENGINEERING CONSULTANTS
 3333 E. Beulah Road, Suite 100
 Springfield, MO 65804
 P: 417-861-0200

LANDSCAPE ARCHITECT:

ISSUE:
 INITIAL SUBMITTAL
 02/27/2026

REVISION SCHEDULE:

NO.	DATE	ISSUE

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ARCHITECT:
 Hufft
 3612 Karlov Boulevard
 Naperville, IL 60563
 P: 630-241-0200
 www.hufft.com

RENDERINGS

A201



NORTH ELEVATION



WEST ELEVATION

EXTERIOR FINISH SCHEDULE

#	DESCRIPTION
AS-1	DRIVE-THRU CANOPY MATERIAL: LONGBOARD 6" V-GROOVE EXTRUDED ALUM SOFFIT PANELS COLOR: BONE WHITE
AS-2	PATIO CANOPY MATERIAL: LONGBOARD 6" V-GROOVE EXTRUDED ALUM SOFFIT PANELS COLOR: CHILI PEPPER
C-1	COPING/ROOF EDGE TYPE 1: PRE-FINISHED ALUMINUM CAP AND SILL FLASHING AT MASONRY VENEER AND, TYP. COLOR: MATCH MASONRY COLOR
C-2	COPING/ROOF EDGE TYPE 2: ANNOZIDED ALUMINUM CAP AND SILL FLASHING AT STOREFRONT, TYP. COLOR: MATCH STOREFRONT FRAMING
GL-1	GLAZING TYPE 1: STOREFRONT MINIR. KAWNEER 451T COLOR: CLEAR ANNOZIDED
M-1	MASONRY TYPE 1: MODULAR BRICK GLEN GERRY COLOR: EBONITE VELOUR GRID: TO MATCH BRICK
N-1	PERIMETER FASCIA & SHIELDED LED LIGHTING: BY PINNACLE SIGN GROUP ANNOZIDED ALUM. FASCIA W/ LED LIGHTING

Hufft

PROJECT INFORMATION
Andy's Frozen Custard - Darien
 2201 75th St, Darien, IL 60561

OWNER
 ANDY'S FROZEN CUSTARD
 711 S. Waukegan
 Skokie, IL 60076
 www.andys.com

ARCHITECT
 HUFFT
 3012 Karlov Boulevard
 Naperville, IL 60563
 P: 630-241-0200
 www.hufft.com

STRUCTURAL
 METTEMEYER ENGINEERING, LLC
 2555 W. Channahon Blvd., Suite 300
 Springfield, IL 62767
 P: 417-480-8000

CON.

MEP
 RTM ENGINEERING CONSULTANTS
 3333 E. Balducci Road, Suite 1000
 Naperville, IL 60563
 P: 630-241-0200

LANDSCAPE ARCHITECT:

ISSUE
INITIAL SUBMITTAL
02/27/2026

REVISION SCHEDULE

NO.	DATE	ISSUE
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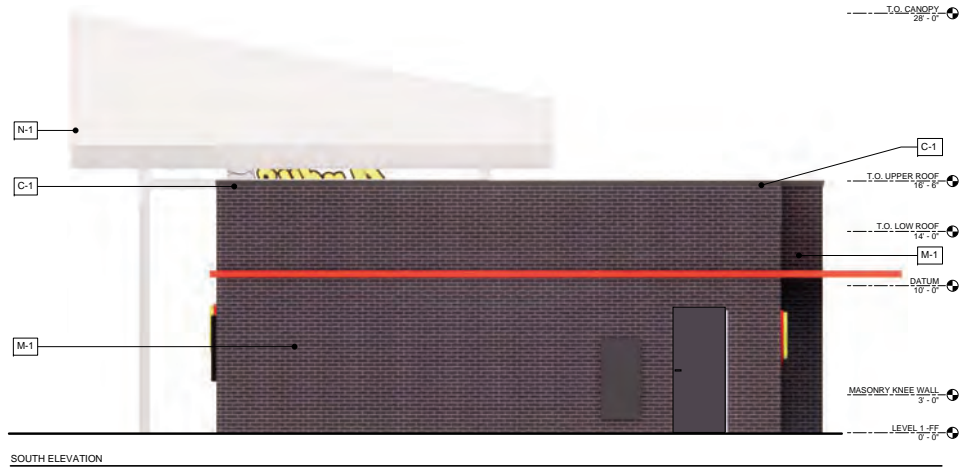
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Architect
 License Number:
 Dawn R. NY
 Project Number: 703

ELEVATIONS

A301



SOUTH ELEVATION

EXTERIOR FINISH SCHEDULE

#	DESCRIPTION
AS-1	DRIVE-THRU CANOPY MATERIAL: LONGBOARD 8" V-GROOVE EXTRUDED ALUM SOFFIT PANELS COLOR: BONE WHITE
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GL-1	GLAZING TYPE 1: STOREFRONT MINIR. KAWNEER 451T COLOR: CLEAR ANOZIDED
M-1	MASONRY TYPE 1: MODULAR BRICK GLEN GERRY COLOR: EBONITE VELOUR GRID: TO MATCH BRICK
N-1	PERIMETER FASCIA & SHIELDED LED LIGHTING: BY PINNACLE SIGN GROUP ANOZIDED ALUM. FASCIA W/ LED LIGHTING

Hufft

PROJECT INFORMATION

Andy's Frozen Custard - Darien
2201 75th St, Darien, IL 60541

OWNER:
ANDY'S FROZEN CUSTARD
211 E. Wacker Drive
Springfield, MO 65806

ARCHITECT:
HUFFT
3612 Karlov Boulevard
Naperville, IL 60563
P: 630-241-0200
www.hufft.com

STRUCTURAL:
METTEMAYER ENGINEERING, LLC
2551 W. Chestnut Blvd., Suite 300
Springfield, MO 65807
P: 417-880-8000

CONTRACTOR:
RPM ENGINEERING CONSULTANTS
3333 E. Bankfield Road, Suite 1000
Springfield, MO 65804
P: 417-881-0200

LANDSCAPE ARCHITECT:
RPM ENGINEERING CONSULTANTS
3333 E. Bankfield Road, Suite 1000
Springfield, MO 65804
P: 417-881-0200

ISSUE:
INITIAL SUBMITTAL
02/27/2026

REVISION SCHEDULE:

NO.	DATE	ISSUE

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Architect:
License Number:
Daren R. Huff
Project Number: 703

ELEVATIONS

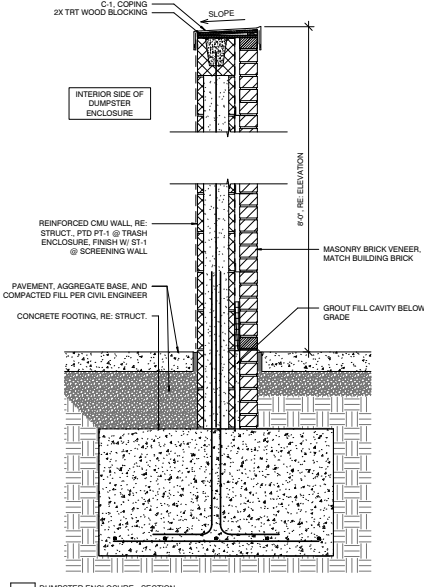


EAST ELEVATION

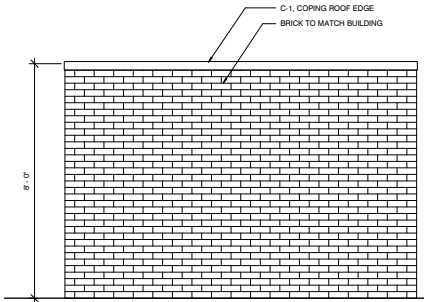
A302

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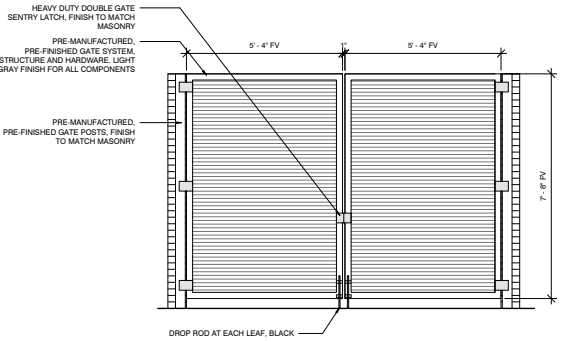
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3 DUMPSTER ENCLOSURE - SECTION
 1/2" = 1'-0"



1 TYP. ELEVATION - DUMPSTER ENCLOSURE
 1/22" = 1'-0"



2 ELEVATION - DUMPSTER GATE
 1/2" = 1'-0"

FIXTURE '9H10'

PLD LED Series
MAXIMUM
DIMENSIONS
100% CRI
10000 HOURS
100% DIMMING
100% ENERGY SAVING
4" Diameter
100% ENERGY SAVING
100% DIMMING
100% ENERGY SAVING
100% DIMMING

FIXTURE 'L2'

MX4IP

FIXTURE '9H05'

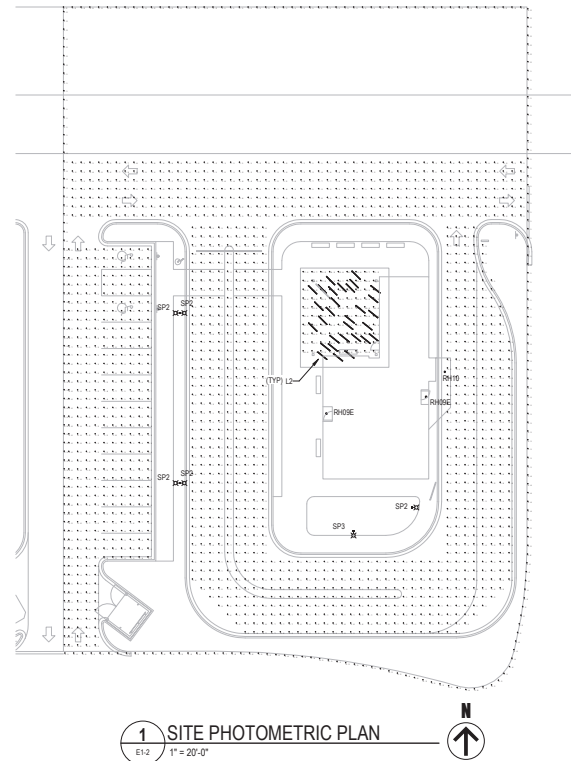
6DR

FIXTURE '9P_1'

B2D SERIES - LED
SPECIFICATIONS
MAX DIMENSION
E14 & E27
A12-MS2048

ORDERING INFORMATION

Component	Options	Material	Quantity	Price	Options
Fixture
...



1 SITE PHOTOMETRIC PLAN
E1-2 1" = 20'-0"

Hufft

PROJECT INFORMATION:
Andy's Frozen Custard - Darien
 2201 75th Street
 Darien, IL
OWNER:
 ANDY'S FROZEN CUSTARD
 311 E. Water Street
 Springfield, MO 65808
 www.andy.com
ARCHITECT:
 HUFFT
 901 Kansas Boulevard
 Aurora, CO, MO 64111
 P: 616-521-0200
 www.hufft.com
STRUCTURAL:
 METTEMEYER ENGINEERING, LLC
 2101 W. Chouteau Blvd., Suite 9100
 Springfield, MO 65807
 P: 417-862-0022
MEP:
 RTM ENGINEERING CONSULTANTS
 3330 E. Bradford Road, Suite 1000
 Springfield, MO 65804
 P: 417-481-0200
LANDSCAPE ARCHITECT:

ISSUE:
INITIAL SUBMITTAL
02-27-2026

REVISION SCHEDULE:
 NO. DATE ISSUE

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Engineer: **Jan E. Enshert**
 Designer: **JEH**
 Drafter: **TEB**
 Project Number: **102**

SITE PHOTOMETRIC PLAN

E1-2

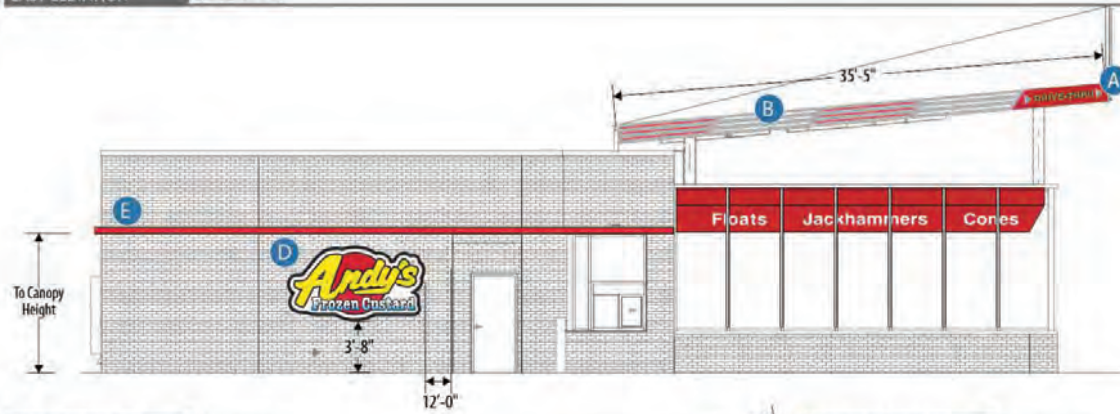
PINNACLE SIGN
GROUP
VISUAL BRANDING THAT MAKES A DIFFERENCE



DARIEN, IL

EAST ELEVATION SCALE: 1" = 0'

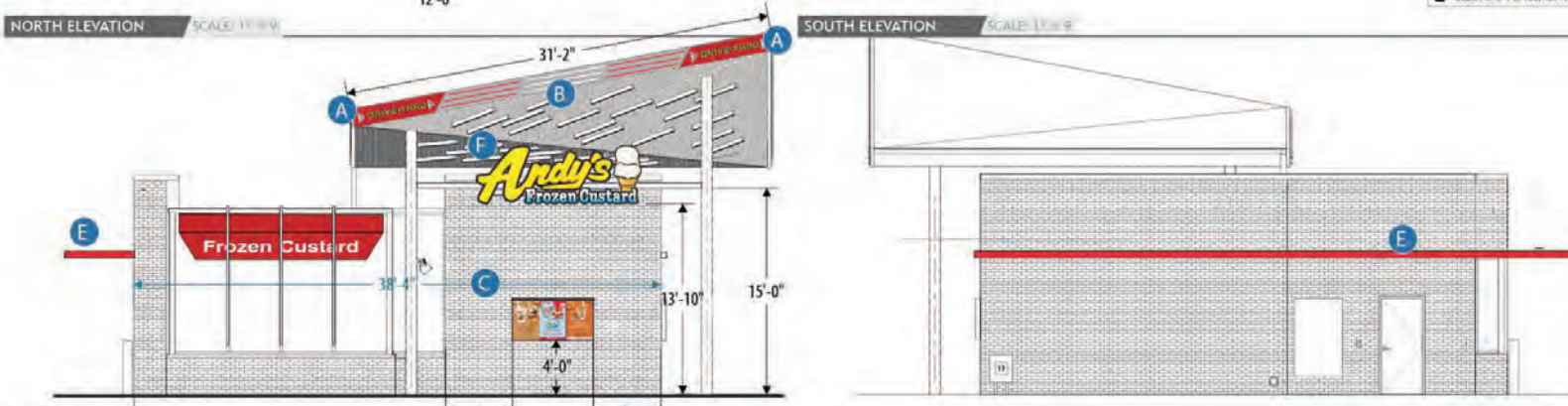
*Drawings are Typical Pending Architectural Renderings



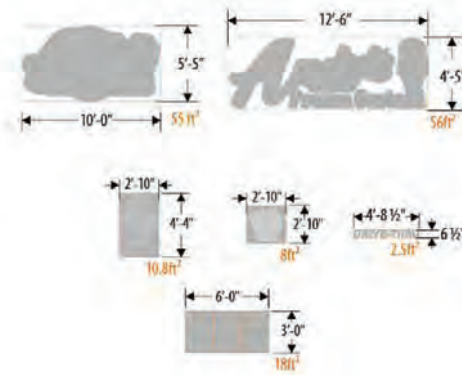
- ELECTRICAL INFO
- PERMITTING INFO
- SIZE AND PLACEMENT

NORTH ELEVATION SCALE: 1" = 0'

SOUTH ELEVATION SCALE: 1" = 0'



WEST ELEVATION SCALE: 1" = 0'



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PINNACLE SIGN GROUP

ANDY'S FROZEN CUSTARD
CUSTOMER

0223-26-ELEV-1 AS SHOWN
DRAWING NUMBER ELEVATION

02.23.26
DATE REVISED

DEREK CROUCH TIM SWAIM
DESIGNER PROJECT MANAGER

DARIEN, IL
LOCATION

SIGN SCHEDULE QUANTITY

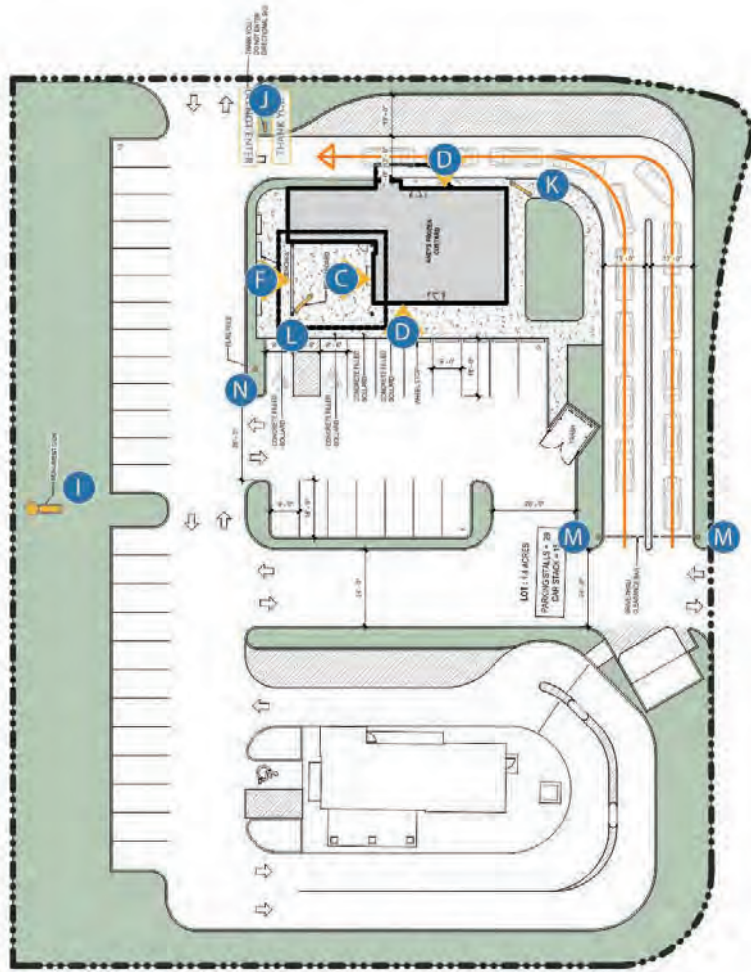
BUILDING SIGNAGE	
LED Illuminated Corner Fascia Cabinets (AFC-OPT-FASC-2)	4 Sections
LED Illuminated Fascia Cabinets (AFC-OPT-FASC-1)	11 Sections
LED Illuminated Seasonal Menu (AFC-NTYP-MENU-2)	1
Pan Embossed Wall Logo (AFC-STND-EWAL-2)	2
LED Accent Light Band (1202-21-BAND-1)	140 Linear Feet
Channel Cabinets (AFC-OPT-EWAL-2)	1
WINDOW SIGNAGE	
LED "Made Fresh Hourly" Sign (AFC-STND-IWAL-2 LED)	1
LED "Sprecher" Sign (AFC-STND-IWAL-3 LED)	1

LE FASCIA OPT - EAST	WEST SIGNAGE OPT - WEST
FACADE AREA FT ² 1,032	FACADE AREA FT ² 1,032
ALLOWABLE FT ² @ 10% (103.2 total)	ALLOWABLE FT ² @ 10% 214 total
DRIVE THRU LETTERS (2.30' x 1)	DRIVE THRU LETTERS (2.30' x 1) 2.3
10' ANDY'S LOGO (50' x 1)	10' ANDY'S LOGO (50' x 1) 55
TOTAL SIGNAGE FT ² 57.5	TOTAL SIGNAGE FT ² 57.5

WEST SIGNAGE OPT - WEST
FACADE AREA FT ² 513
ALLOWABLE FT ² @ 10% 214 total
SEASONAL MENUS (80' x 1)
CHANNEL CABINETS (50' x 1)
DRIVE THRU LETTERS (2.30' x 1)
TOTAL SIGNAGE FT ² 79

ANDY'S FROZEN CUSTARD (LOCATION: ILLINOIS) 75'-4"-ST, DARIEN, IL 60561 (ART RENDER)

- I** MONUMENT (AFC-STND-MONU-1)
Masonry Structure 8' wide, Illuminated Full-Face Logo, Chromelike Copy Board, Address Number FCC
- J** DIRECTIONAL SIGN (AFC-STND-DIRE-1)
7' height, 2-Sided Illuminated Directional
- K** 1-SIDED MENU BOARD (AFC-STND-MENU-1-SS)
3 Over 3 Panel Standard Menu, "Order at Window" Sign Panel w/ Bracket Located at Drive Thru
- L** 2-SIDED MENU BOARD (AFC-STND-MENU-1-DS)
3 Over 3 Panel Standard Menu, Located at Patio
- M** CLEARANCE SIGN (AFC-STND-BAR-1)
9' Clearance Standard Clearance Bar, "No Trailers" Sign Panel
- N** 40' FLAG POLE (AFC-OPT-FLAG-40)
40' Flag Pole, 12' x 8' American Flag, 6' x 4' Andy's Flag, Flood Lighting



ANDY'S FROZEN CUSTARD

CUSTOMER: ANDY'S FROZEN CUSTARD
 0223-26-SITE-1 AS SHOWN
 DRAWING NUMBER: 02.23.26
 DATE REVISED: 02.23.26

DEREK CROUCH DESIGNER
 TIM SWAIM PROJECT MANAGER

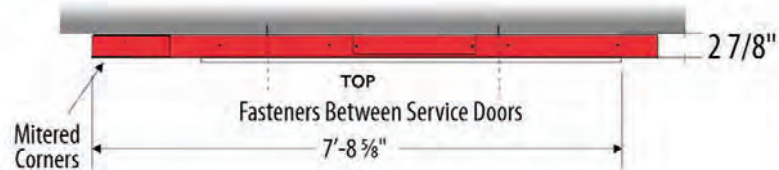
DARIEN, IL

LOCATION

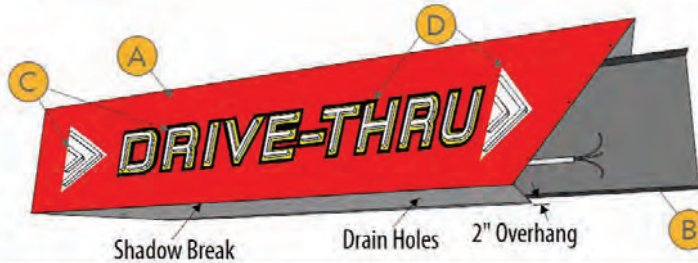
SIGN SCHEDULE QUANTITY

SIGN SCHEDULE	QUANTITY
BUILDING SIGNAGE	
LED Illuminated Seasonal Menu (AFC-NTYP-MENU-2)	1
Pan Embossed Wall Logo (AFC-STND-EWAL-2)	2
Channel Cabinets (AFC-OPT-EWAL-2)	1
DETACHED SIGNAGE	
2-Sided Monument (AFC-STND-MONU-1)	1
2-Sided Illuminated Directional (AFC-STND-DIRE-1)	1
1-Sided Menu Board (AFC-STND-MENU-1-SS)	1
2-Sided Menu Board (AFC-STND-MENU-1-DS)	1
Clearance Bar (AFC-STND-BAR-1)	2
40' Flag Pole (AFC-OPT-FLAG-40)	1

Front View



EXPLODED VIEW SCALE: NTS



AFC DISCLAIMER - FASCIA

THE LIGHTED FASCIA SYSTEM PSG IS PROVIDING IS PURELY DECORATIVE AND NOT TO BE MADE PART OF A WATERPROOF ENVELOP DESIGN.

PSG WILL NOT BE RESPONSIBLE FOR WATER INFILTRATION AND RESULTING BUILDING DAMAGE AS IT RELATES TO THE DECORATIVE FASCIA SYSTEM. DECORATIVE FASCIA IS NOT DESIGNED TO BE WATER PROOF AND INCLUDES WEEP HOLES AT THE BOTTOM FOR WATER TO ESCAPE; BUILDING ENVELOPE TO BE WATERPROOF OUTSIDE OF OUR ASSEMBLY.

PHOTO EXAMPLE SCALE: NTS



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ANDY'S FROZEN CUSTARD

CUSTOMER	ANDY'S FROZEN CUSTARD
DRAWING NUMBER	AFC-OPT-FASC-1
ELEVATION	AS SHOWN
DATE REVISED	03.21.23
DESIGNER	DEREK CROUCH
PROJECT MANAGER	TIM SWAIM

ALL LOCATION

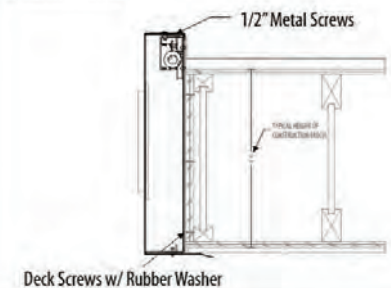
SCOPE OF WORK

- ▶ .040 Polished Aluminum Face
- ▶ .063 Aluminum Backpan
- ▶ 1" Internally LED Illuminated Acrylic Push Thru - White Translucent Front/Back
- ▶ Vinyl Applied to Face
 - Vinyl - 3M 2090 Hot Rod Red (Opaque)
 - Vinyl - Digital Print Applied to Red Vinyl (Opaque)
- ▶ Access Panel

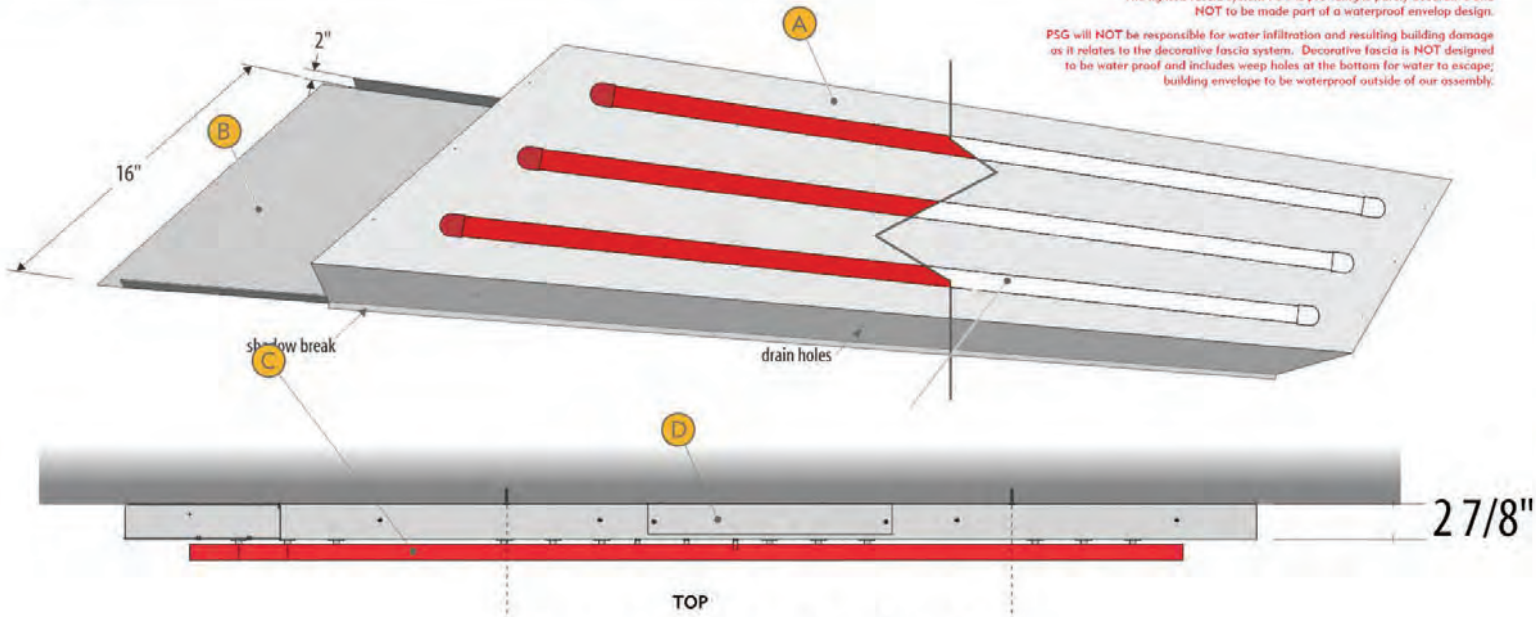
ELECTRICAL REQUIREMENTS
120V; 2.75A per Cabinet

ARCHITECT SHALL COORDINATE ALL FLASHING DETAILS TO PROVIDE WEATHERTIGHT SEAL BETWEEN FASCIA AND ROOF SYSTEM

ATTACHMENT METHOD



The lighted fascia system PSG is providing is purely decorative and NOT to be made part of a waterproof envelop design. PSG will NOT be responsible for water infiltration and resulting building damage as it relates to the decorative fascia system. Decorative fascia is NOT designed to be water proof and includes weep holes at the bottom for water to escape; building envelope to be waterproof outside of our assembly.



Fasteners Between Service Doors



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ANDY'S FROZEN CUSTARD
CUSTOMER

AFC-OPT-FASC-2 **AS SHOWN**
DRAWING NUMBER ELEVATION

02.14.25
DATE REVISED

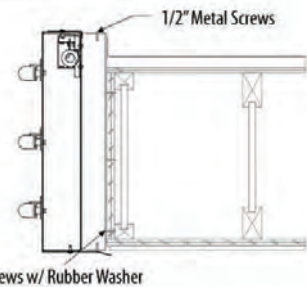
DEREK CROUCH **TIM SWAIM**
DESIGNER PROJECT MANAGER

ALL
LOCATION

SCOPE OF WORK

- ▶ **.040 Polished Aluminum Face**
 - Finish - Bright Clear Anodized Aluminum
- ▶ **.063 Aluminum Backpan**
- ▶ **LED Illuminated Sloan LEDstripe Lighting**
 - Contour Lighting - White
 - Contour Lighting - Red
- ▶ **Access Panel**

ATTACHMENT METHOD



ORTHOGRAPHIC VIEWS SCALE: 1/12" = 1'-0"

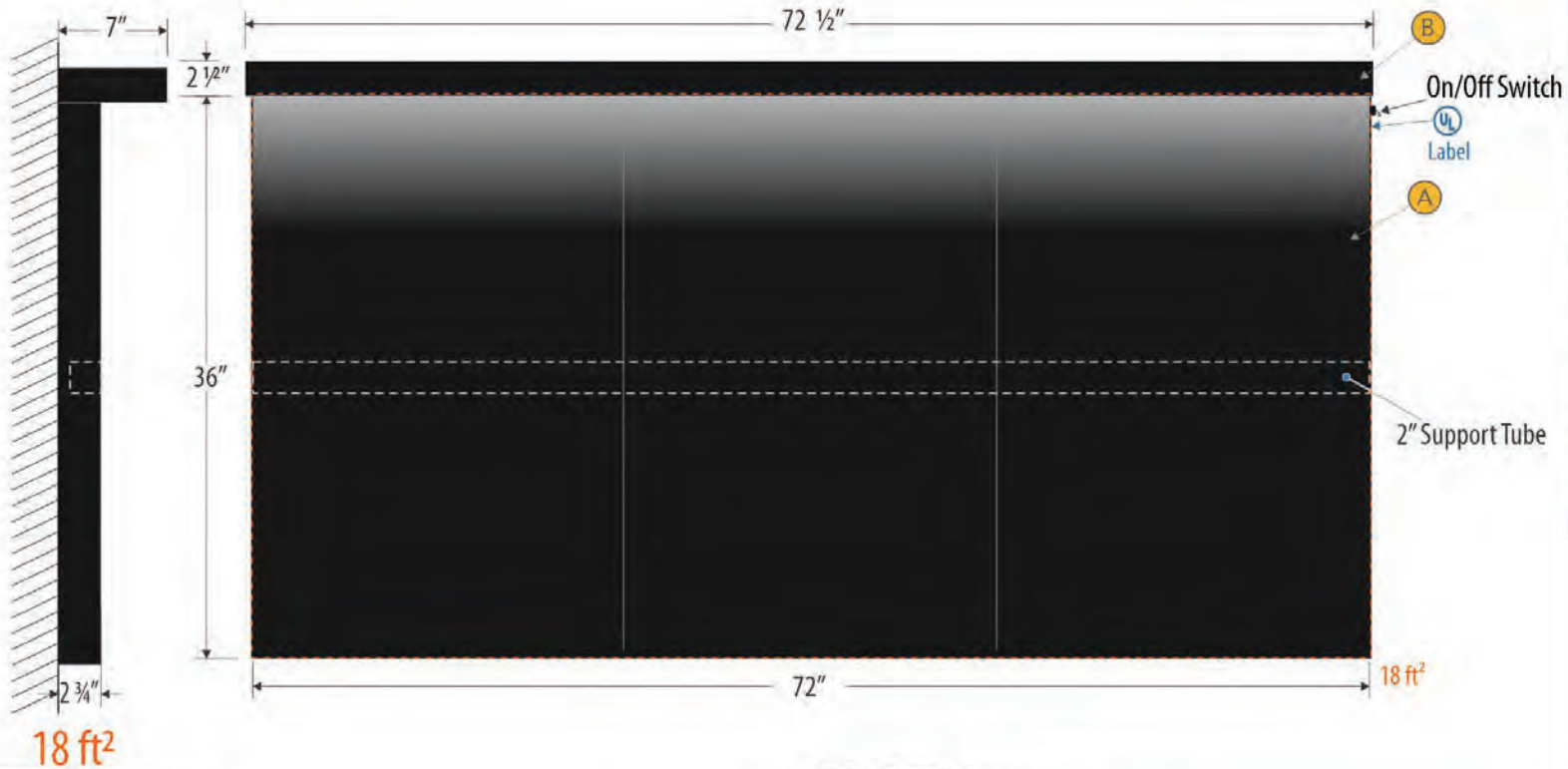


PHOTO EXAMPLE SCALE: NTS



ASSEMBLY (SIMILAR) SCALE: NTS



ELECTRICAL REQUIREMENTS

120V, 1 AMP PER SIGN

1. 12 VOLT DC TRANSFORMER
2. WHITE TUBE LED IN C-CHANNEL
3. WET WEATHER RATED TOGGLE ON/OFF SWITCH
4. STEEL FRAME AND STRUCTURE
5. POWER PASS THROUGH/J-BOX
6. 1/4"x3" SLEEVE EXPANSION ANCHORS
7. BRICK WALL
8. OPTIONAL ANTI-TAMPER SHIELD
9. FABRICATED STEEL CABINET
10. FABRICATED STEEL C-CHANNEL CAP
11. MAGNETIC POSTER (BY OTHERS)
12. UL LABEL

ANDY'S FROZEN CUSTARD

CUSTOMER

AFC-NTYP-MENU-2

DRAWING NUMBER

AS SHOWN

ELEVATION

07.20.22

DATE REVISED

DEREK CROUCH

DESIGNER

TIM SWAIM

PROJECT MANAGER

ALL

LOCATION

SCOPE OF WORK

- ▶ Painted Steel Magnetic Backer
 - Paint - Black (Satin)
- ▶ Light Shield w/ Downcast LED Lighting
 - Paint - Black (Satin)
- ▶ Replaceable Magnetic Seasonal Menus (by Others)

ATTACHMENT METHOD



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ORTHOGRAPHIC VIEWS SCALE: 3/4" = 1'



PHOTO EXAMPLE SCALE: NTS



ILLUMINATED VIEW SCALE: NTS



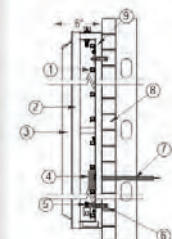
ANDY'S FROZEN CUSTARD - MASTER

CUSTOMER	
AFC-STND-EWAL-2	AS SHOWN
DRAWING NUMBER	ELEVATION
DATE REVISED	
07.29.22	
DATE REVISED	
BUDDY HINDS	TIM SWAIM
DESIGNER	PROJECT MANAGER

ALL
LOCATION
SCOPE OF WORK
Internally Illuminated Panfaced Wall Sign

- ▶ Internally LED Illuminated Contour Cabinet
 - Paint - Black (Gloss)
- ▶ Multi-Level Embossed Pan Face; Back Spray-Painted (2nd Surface)
 - See Logo Chart for Color Specs
- ▶ Flush Mounted to Exterior Wall

ATTACHMENT METHOD



1. WHITE LED STICK LIGHTING
2. PAN FACE RETAINER
3. EMBOSSED PAN FACE
4. 12 VOLT DC TRANSFORMER
5. TOGGLE ON/OFF SWITCH
6. 1/4" WEDGE ANCHORS
7. POWER PASS THROUGH
8. WALL - BRICK
9. ALUMINUM .063" BACKS/ .080" RETURNS



MOUNTING VIEW SCALE: NTS

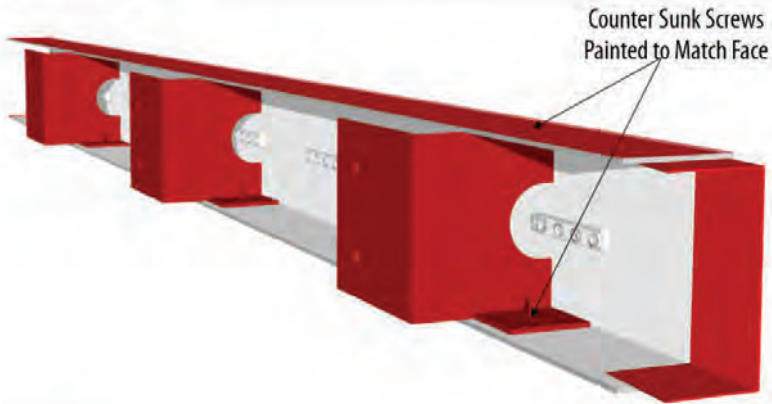
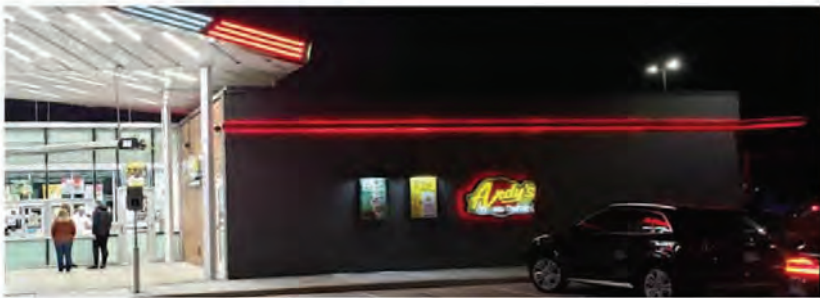
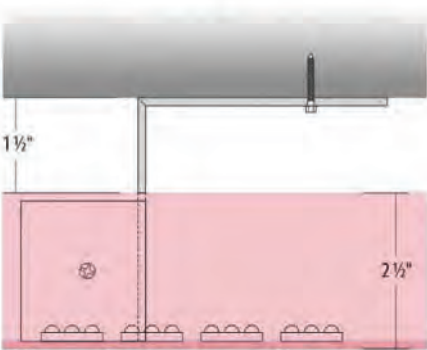


PHOTO EXAMPLE SCALE: NTS

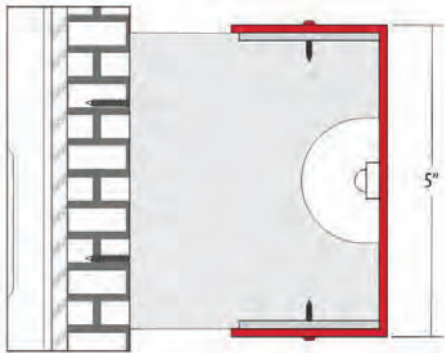


ATTACHMENT VIEW SCALE: 1/2"

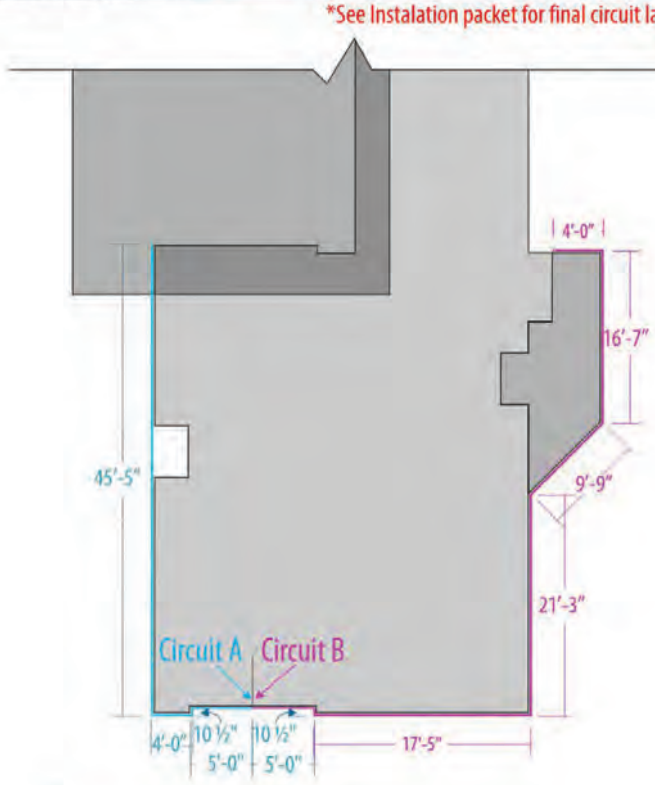
TOP VIEW



SIDE VIEW

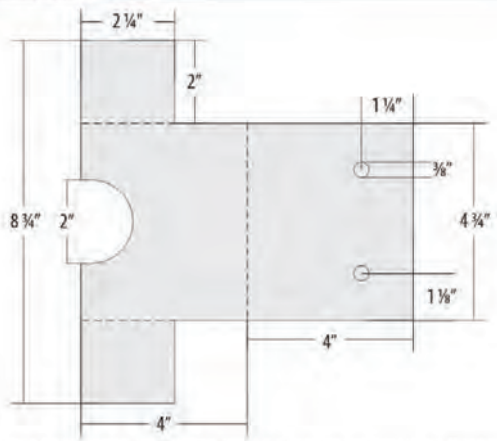


OVERHEAD VIEW SCALE: 1"=10"



*Drawings are Typical Pending Architectural Renderings
*See Installation packet for final circuit layout

EXPLODED BRACKET VIEW SCALE: 1:1



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ANDY'S FROZEN CUSTARD	
CUSTOMER	
XXXX-XX-BAND-1	AS SHOWN
DRAWING NUMBER	ELEVATION
03.14.22	
DATE REVISED	
DEREK CROUCH	TIM SWAIM
PROJECT MANAGER	DESIGNER
DARIEN, IL	
LOCATION	
SCOPE OF WORK	

- Reverse Channel Light Stripe**
- ▶ **Halo-Lit Reverse Channel Aluminum Band**
 - Painted Aluminum Reverse Channel
 - LED Halo Illuminated
 - Mechanically Fastened w/ Painted Hardware
 - Paint (Interior) - White
 - Paint - MP 10224 Hot Rod Red (Gloss)
 - ▶ **Aluminum Mount Brackets**
 - Painted
 - Mechanically Fastened to Exterior Wall
 - Paint - MP 10224 Hot Rod Red (Gloss)

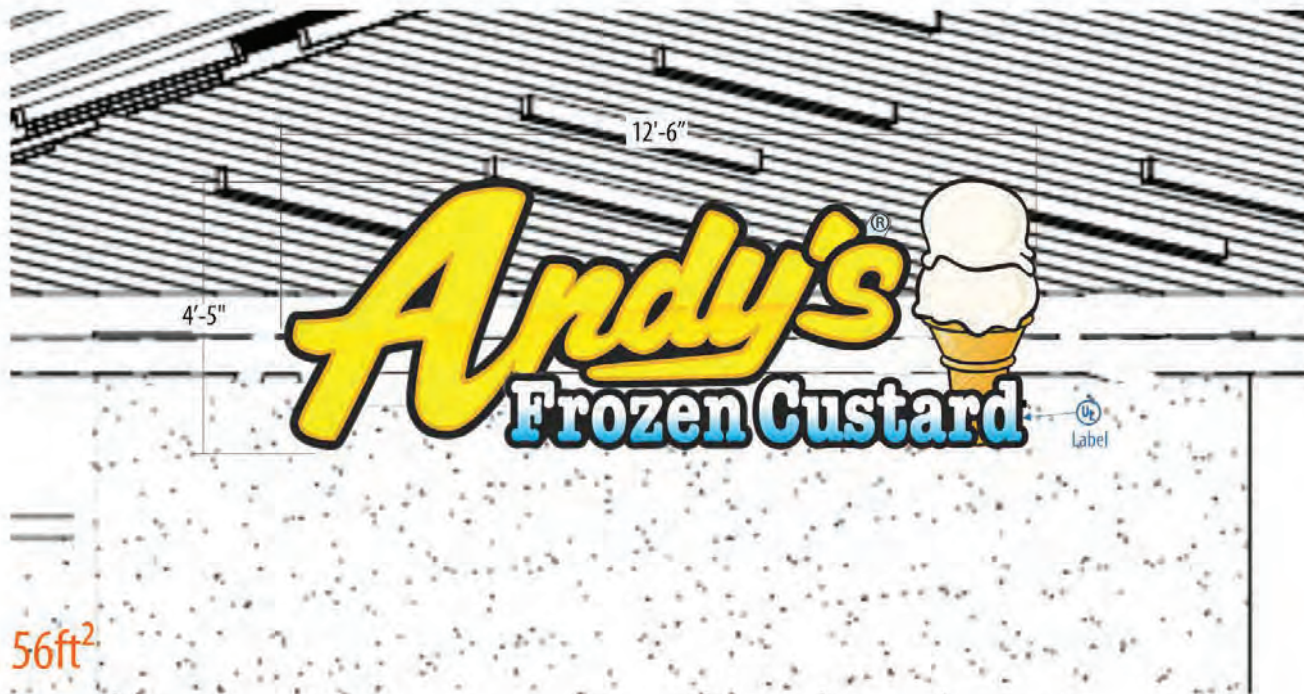
Electrical Info

Section A: 1-10 Amp Circuit

Section B: 1-10 Amp Circuit



ELEVATION VIEW / SCALE: 1:20



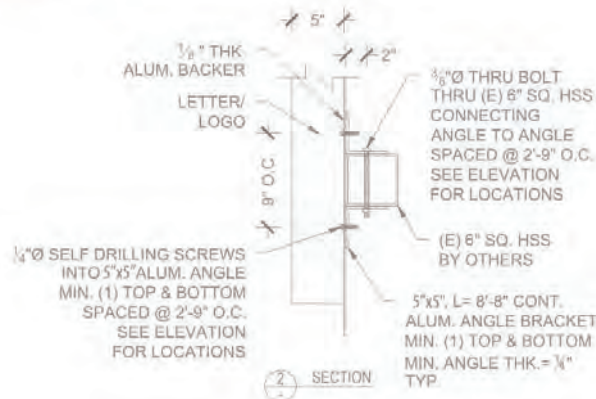
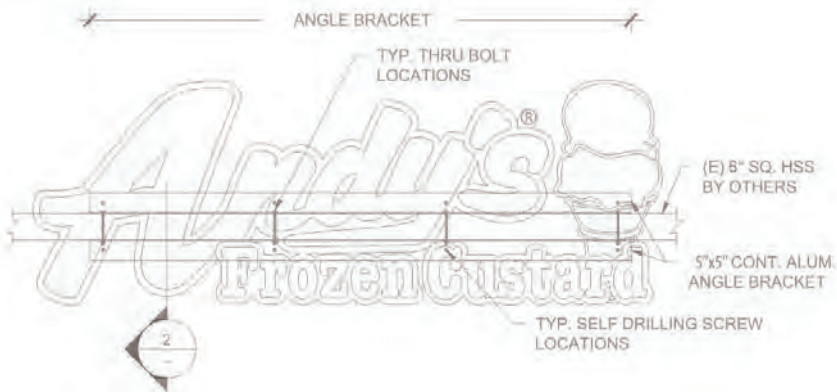
BACK VIEW / SCALE: NTS

56ft²

SIDE/CUTAWAY VIEW / SCALE: NTS



ATTACHMENT VIEW / SCALE: NTS



ANDY'S FROZEN CUSTARD	
CUSTOMER	
AFC-OPT-EWAL-2	SEE XXXX-XX-ELEV-1
DRAWING NUMBER	ELEVATION
03.21.23	
DATE REVISED	
DEREK CROUCH	TIM SWAIM
DESIGNER	PROJECT MANAGER
ALL	
LOCATION	
SCOPE OF WORK	
Internally Illuminated Channel Cabinets	
▶ Trimcap	● Black
▶ 5" Returns	● Black
▶ Digitally Printed Graphics Applied To Acrylic Faces	● Vinyl - Digital Print
▶ Mounted to Aluminum Backer - Backer mounted to horizontal beam w/ aluminum angle brackets	● Paint - Black (Satin) (Back) ○ Paint - White (Satin) (FACE)
▶ Clear acrylic tab for Register Trademark - Vinyl applied to acrylic tab	● Vinyl - Black ○ Acrylic - Clear
▶ Power supply self contained within Andy's Cabinet	

ATTACHMENT METHOD



ELEVATION VIEW SCALE: 1/8"



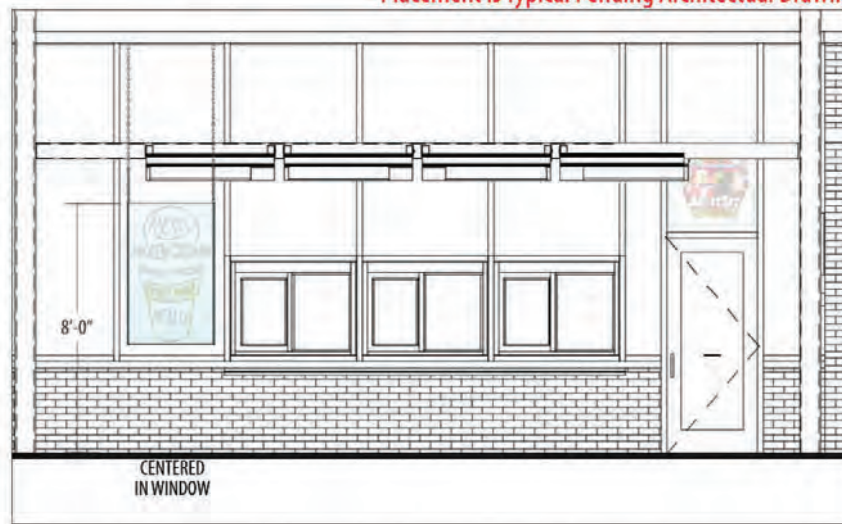
10.8ft²

PRODUCT PHOTO SCALE: NTS



PLACEMENT INFO SCALE: 1/4\"/>

* Placement is Typical Pending Architectural Drawings



CENTERED
IN WINDOW

PINNACLE SIGN GROUP

ANDY'S FROZEN CUSTARD

CUSTOMER	
AFC-STND-IWAL-2 LED	AS SHOWN
DRAWING NUMBER	ELEVATION
DATE REVISED	
06.27.22	
DATE REVISED	
DEREK CROUCH	TIM SWAIM
DESIGNER	PROJECT MANAGER

LOCATION

LOCATION

SCOPE OF WORK

Hanging LED Window Sign

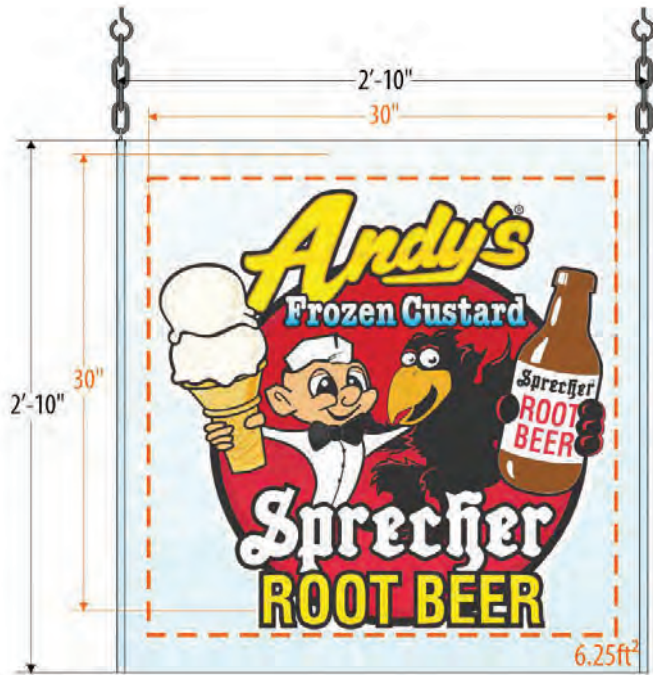
- ▶ Chain D-Clip to Ceiling (Adjust to Measure)
- ▶ 6' Cord to 120v Service
- ▶ On/Off Switch w/ Chain
- ▶ 3/16" Clear Acrylic, Custom Bent to Shape
- ▶ LED ContourTube Lighting Over Top of Face
 - Lighting - Yellow
 - Lighting - White

- ▶ Electrical Requirements
 - 120V, 3A per Sign; 3 Cords to Outlet 108" AFF



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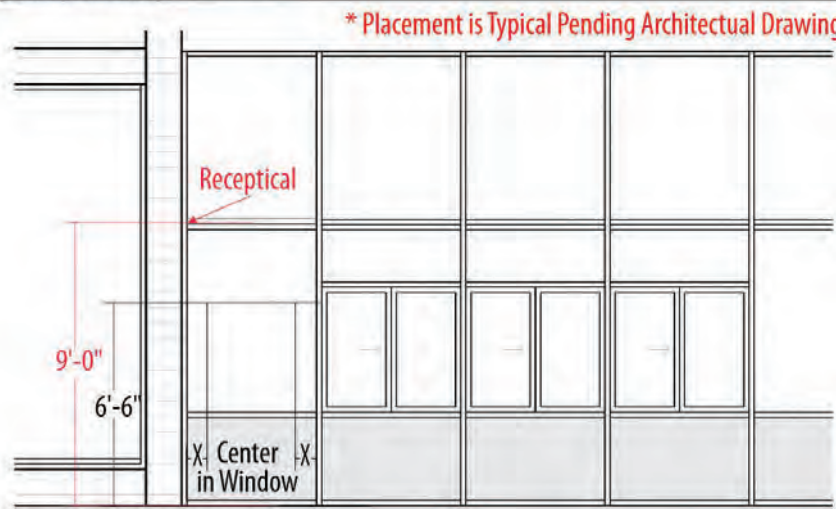
ELEVATION VIEW SCALE: 1/8"



PRODUCT PHOTO SCALE: NTS



TYPICAL PLACEMENT SCALE: 1/4"=1'



PINNACLE SIGN GROUP

ANDY'S FROZEN CUSTARD

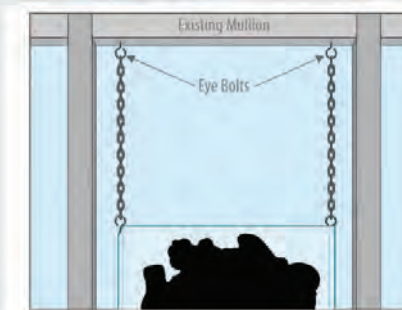
CUSTOMER
AFC-STND-IWAL-3 LED AS SHOWN
DRAWING NUMBER ELEVATION
 DATE REVISED
01.23.24
DATE REVISED
DEREK CROUCH **TIM SWAIM**
DESIGNER PROJECT MANAGER

ALL
LOCATION

SCOPE OF WORK
Hanging LED Window Sign

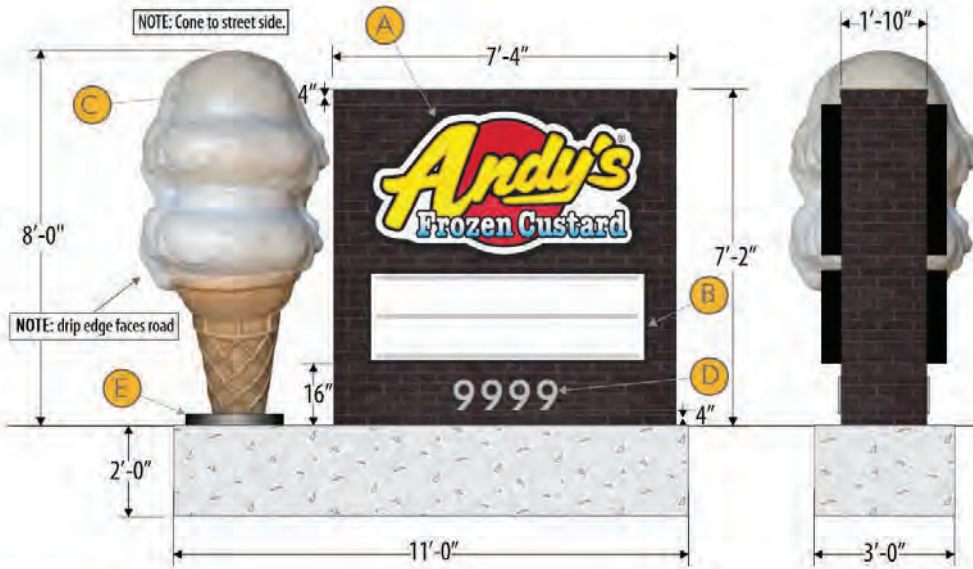
- ▶ Chain D-Clip to Ceiling (Adjust to Measure)
- ▶ 6' Cord to 120v Service
- ▶ On/Off Switch w/ Chain
- ▶ 3/16" Clear Acrylic, Custom Bent to Shape
- ▶ LED ContourTube lighting Over Top of Face
 - Lighting - White
- ▶ Digital Print Vinyl Applied to Face
 - Vinyl - Digital Print

▶ **Electrical Requirements**
 - 120V, 3A per Sign to Outlet 108" AFF



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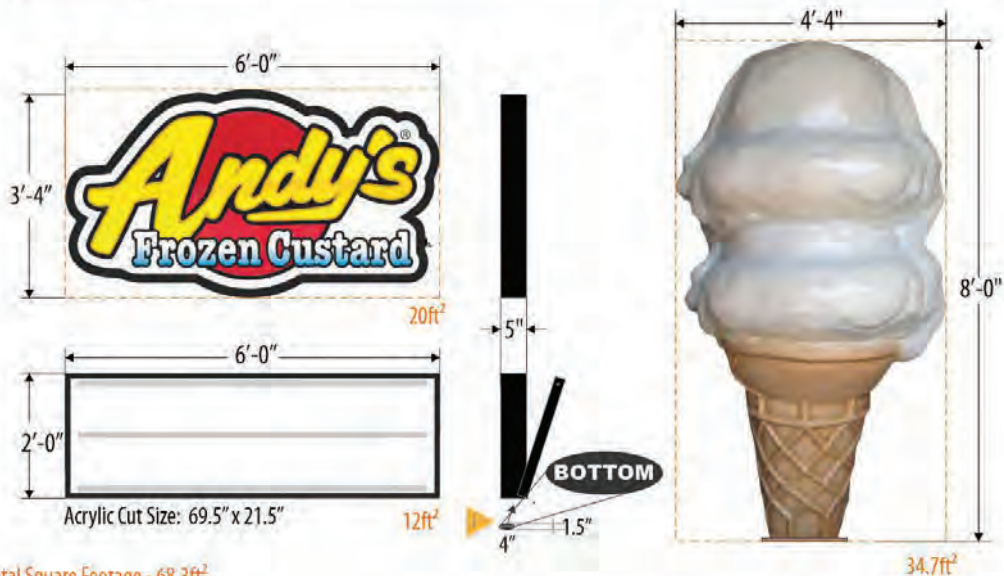
ORTHOGRAPHIC VIEWS SCALE: 3/8" = 1'



ILLUMINATED VIEW SCALE: NTS



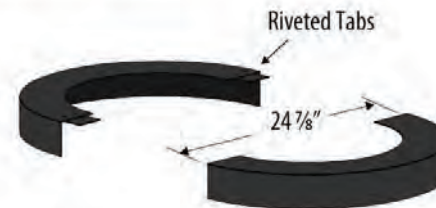
ELEVATION VIEW SCALE: 1/2" = 1'



ADDRESS LETTERS SCALE: 3/4" = 1"



BASE PLATE COVER SCALE: NTS



Total Square Footage - 68.3ft²

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ANDY'S FROZEN CUSTARD

CUSTOMER: AFC-STND-MONU-1 AS SHOWN
DRAWING NUMBER: ELEVATION

DATE REVISED: 08.02.22

DESIGNER: DEREK CROUCH PROJECT MANAGER: TIM SWAIM

LOCATION: ALL

SCOPE OF WORK:

2-Sided Monument w/ Full Cone

LED Illuminated Contoured Aluminum Cabinet with Pan Embossed Backspray Painted Face

- Black (Gloss)
- See Logo Chart for Color Specs

Flush Mounted 1-Sided LED Illuminated Cabinets

- Flat Face with 2 Line Letter Face, 2 Thumb Screw Latches per Retainer (4 Total) and Vandal Cover

- Black (Gloss)

3-D Fiberglass Cone Mounted to Monument Platform

Painted 1/2" Acrylic FCO Address; Stud Mounted Flush to Monument Face

- MP 1vs953 Super Sparkle Silver (Satin)

Aluminum Bolt/Flange Covers

- Black (Gloss)

Qty. 2-100 pc. 8 on 9 Std Cond. Font Letters; Qty. 1-50 pc. 8 on 9 Std Cond. Font Punctuation Set

Changeable Copy Letter Storage Cabinet

Cast Lighting -Qty. 4 Fixtures by Others

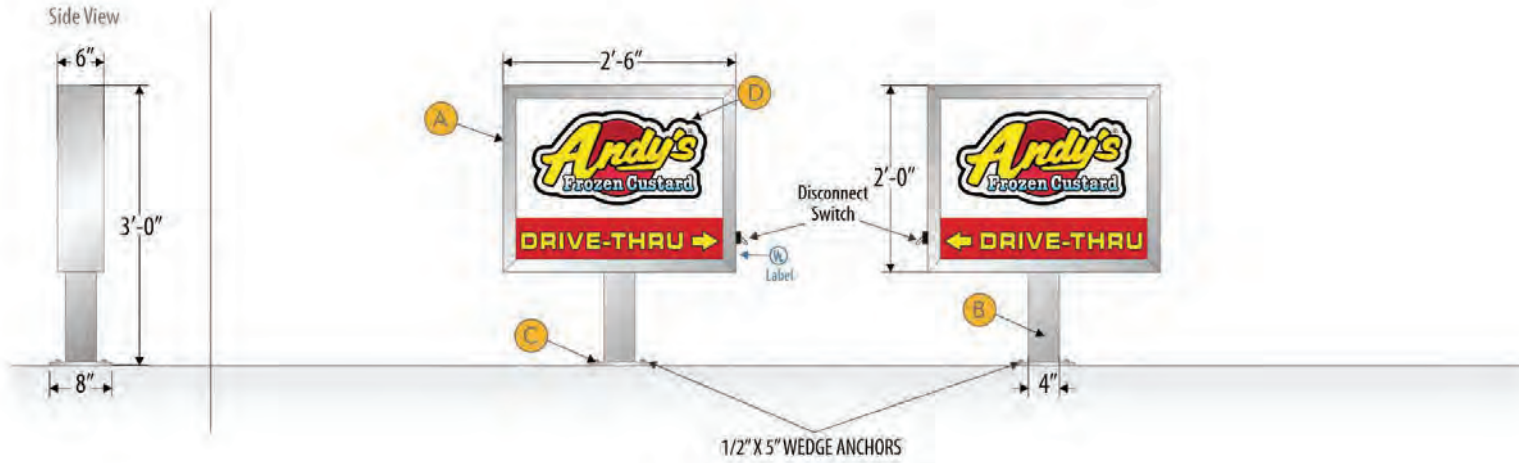
Vinyl Sticker To Call Out Bottom Of Cabinet

- Vinyl - White

Electrical Requirements - 120V; 7A



ORTHOGRAPHIC VIEWS / SCALE: 3/4"=1'



ACRYLIC FACES / SCALE: 1/4"=1'



AD SPACE: 3.8sf

PHOTO EXAMPLE / SCALE: 1/4"=1'



PINNACLE SIGN GROUP

ANDY'S FROZEN CUSTARD - MASTER

CUSTOMER
AFC-STND-DIRE-1 AS SHOWN
DRAWING NUMBER ELEVATION

09.15.22
DATE REVISED

DEREK CROUCH DESIGNER
TIM SWAIM PROJECT MANAGER

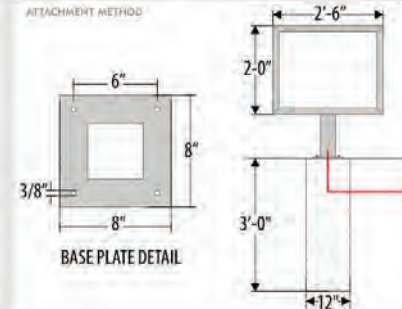
ALL
LOCATION

SCOPE OF WORK

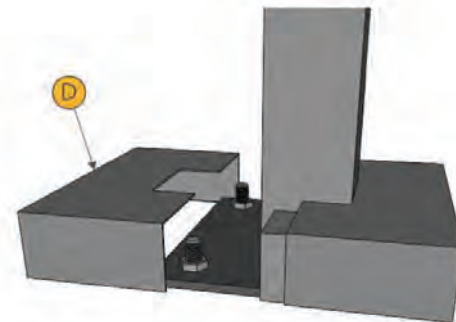
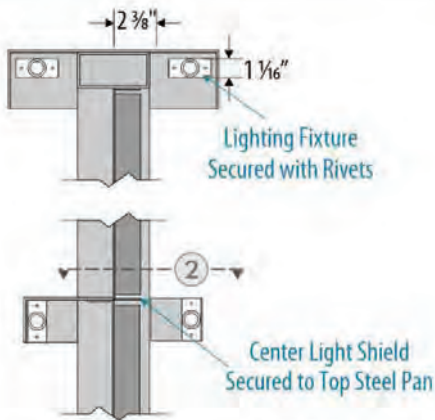
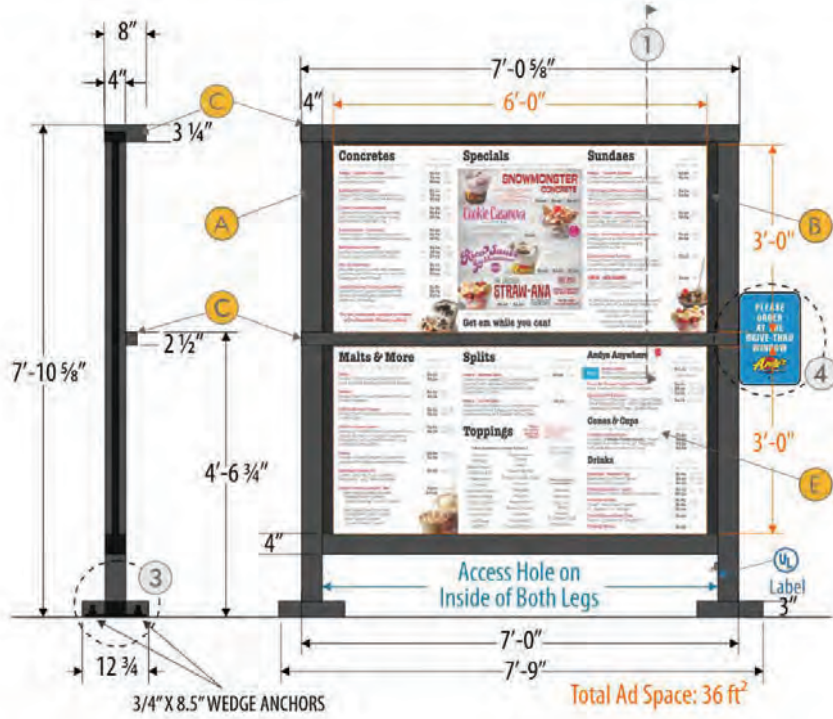
2-Sided Internally Illuminated Directional

- ▶ **Aluminum Extruded Cabinet**
 - Paint - MP LV5953 Super Sparkle Silver (Satin)
- ▶ **4" Aluminum Square Post**
 - Paint - MP LV5953 Super Sparkle Silver (Satin)
- ▶ **1/4" Aluminum Mounting Bracket**
 - Paint - MP LV5953 Super Sparkle Silver (Satin)
- ▶ **Clear Acrylic w/ Printed Vinyl Graphics**
 - 1st Layer Vinyl - Digital Print on Clear Applied to 1st Surface
 - 2nd Layer Vinyl - Digital Print on Translucent Applied to 1st Surface
- ▶ **Electrical Requirements - 120V; 1.2A**

ATTACHMENT METHOD



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Shim to Level, Flush

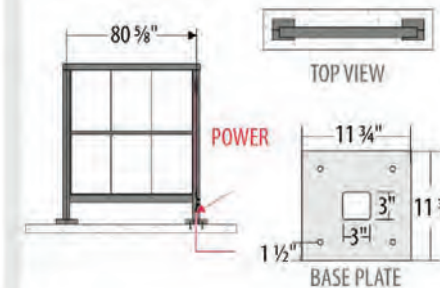
ANDY'S FROZEN CUSTARD - MASTER

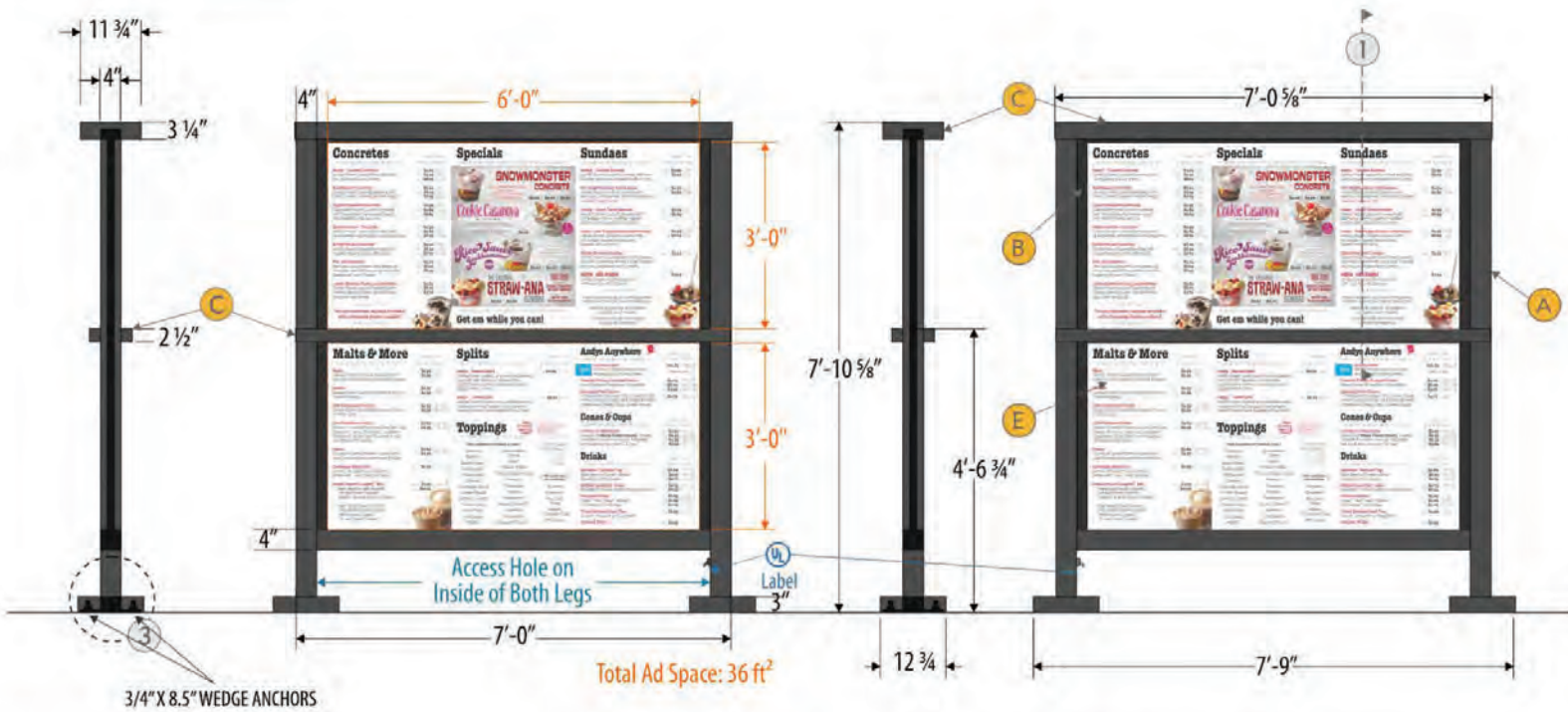
CUSTOMER	
AFC-STND-MENU-1-SS	AS SHOWN
DRAWING NUMBER ELEVATION	
03.17.22	
DATE REVISED	
DEREK CROUCH	TIM SWAIM
DESIGNER	PROJECT MANAGER

ALL LOCATION: SCOPE OF WORK:

1-Sided Internally Illuminated Menu

- ▶ Painted 4" Aluminum Tube Frame
 - Paint - Black (Satin)
- ▶ Painted Steel Pan Magnet Backer
 - Paint - Black (Satin)
- ▶ Fabricated Aluminum Light Shield
- ▶ Bolt Covers Painted to Match
- ▶ Magnetic Menu Panels by Others
- ▶ .080 Aluminum "Drive Thru" Sign
- ▶ Painted .080 Aluminum Bracket
 - Paint - Black (Satin)
- ▶ Electrical Requirements - 120V; 2A





ANDY'S FROZEN CUSTARD - MASTER

CUSTOMER
AFC-STND-MENU-1-DS AS SHOWN
DRAWING NUMBER ELEVATION
03.17.22
DATE REVISED
DEREK CROUCH **TIM SWAIM**
DESIGNER PROJECT MANAGER

ALL
LOCATION
SCOPE OF WORK

2-Sided Internally Illuminated Menu

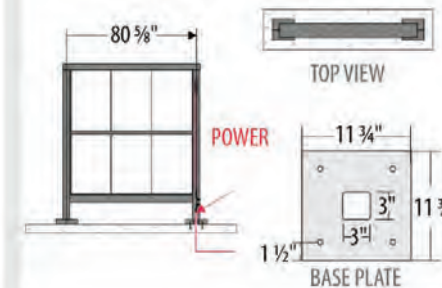
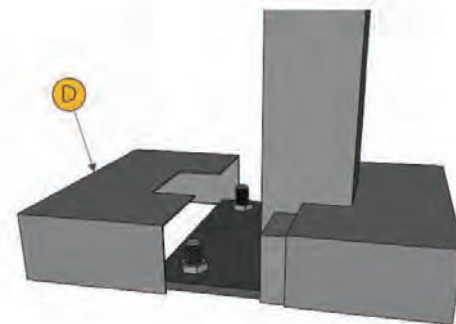
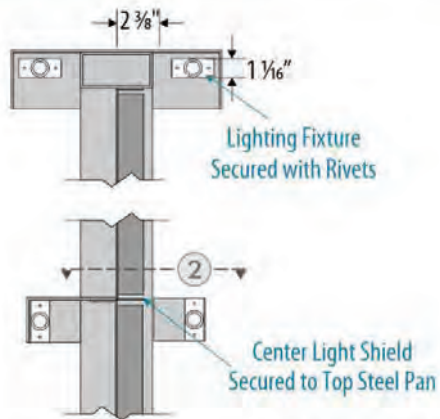
- Painted 4" Aluminum Tube Frame
 - Paint - Black (Satin)
- Painted Steel Pan Magnet Backer
 - Paint - Black (Satin)
- Fabricated Aluminum Light Shield
- Bolt Covers Painted to Match
- Magnetic Menu Panels by Others
- Electrical Requirements - 120V; 4A

ANDY'S FROZEN CUSTARD MASTER MENU BOARD (2-SIDED, ILLUMINATED)

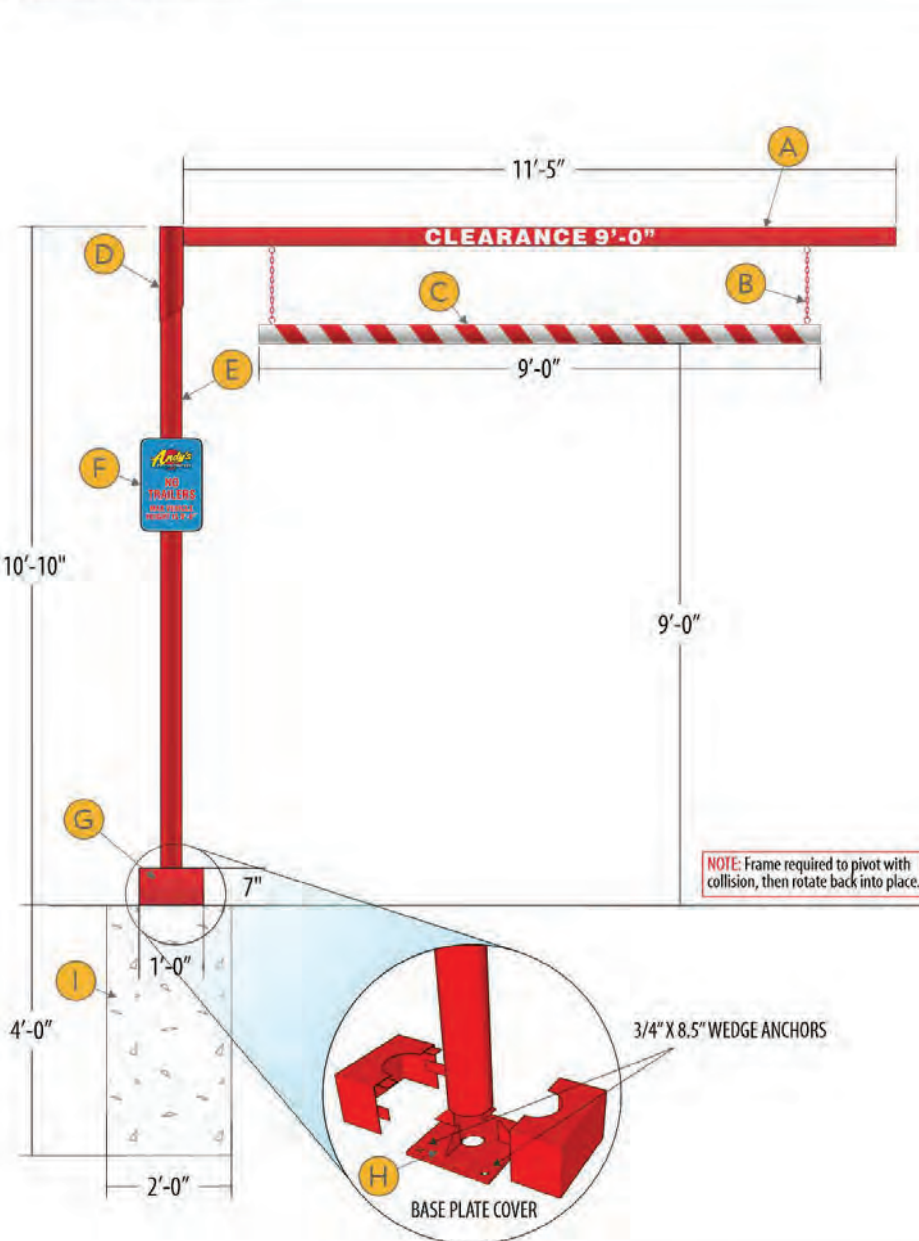
1 - CROSS-SECTION VIEW SCALE: NTS

2 - MIDDLE LIGHT SHIELD SCALE: NTS

3 - BASEPLATE COVER SCALE: NTS



ELEVATION VIEW SCALE: 1/8"=1'-0"



ELEVATION VIEW SCALE: 1/8"=1'-0"



EXAMPLE VIEW SCALE: NTS



PINNACLE SIGN GROUP

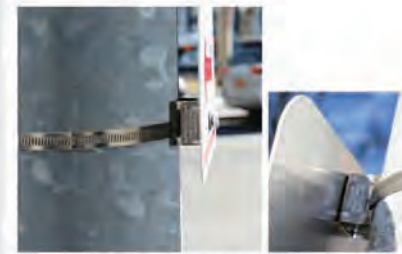
ANDY'S FROZEN CUSTARD

CUSTOMER	ANDY'S FROZEN CUSTARD
DRAWING NUMBER	AFC-STND-BAR-1
DATE REVISED	04.27.23
DESIGNER	DEREK CROUCH
PROJECT MANAGER	TIM SWAIM

ALL LOCATION

- SCOPE OF WORK
- ▶ **Painted 3.5" Square Tube with White Reflective Vinyl Applied to Both Sides**
 - Paint - MP 10224 Hot Rod Red
 - Vinyl - 3M 680cr
 - ▶ **Hanging Metal Chain**
 - Paint - MP 10224 Hot Rod Red
 - ▶ **Painted 4" PVC Pipe Capped on Ends; White Reflective Vinyl Applied**
 - Paint - MP 10224 Hot Rod Red
 - Vinyl - 3M 680cr
 - ▶ **Painted 4.5" Steel Pipe**
 - Paint - MP 10224 Hot Rod Red
 - ▶ **Painted 4" Steel Pipe**
 - Paint - MP 10224 Hot Rod Red
 - ▶ **Digital Printed .080 Aluminum Sign; Fastened with Adjustable Hose Clamp Brackets**
 - Digital Print Graphics
 - ▶ **Painted Bolt Head Cover**
 - Paint - MP 10224 Hot Rod Red
 - ▶ **12" Base Plate w/ Wedge Anchors into Concrete**
 - ▶ **24" x 48" Round Pier Footing**

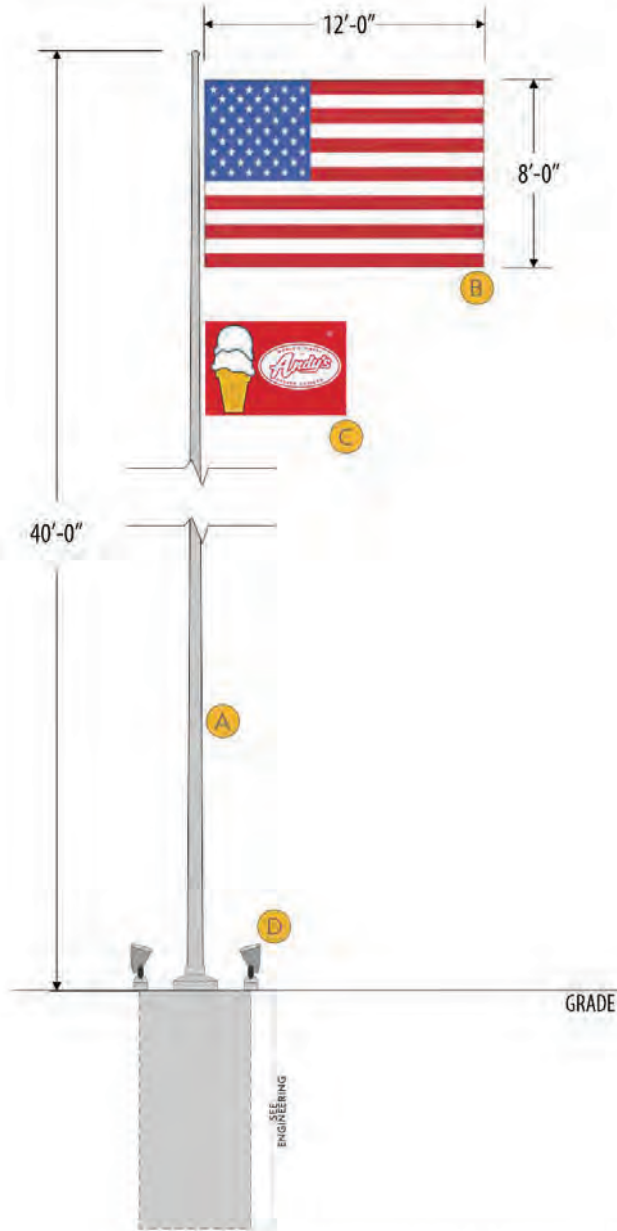
ATTACHMENT METHOD



ADJUSTABLE HOSE CLAMP BRACKETS

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ELEVATION VIEW SCALE: 3/16"=1'

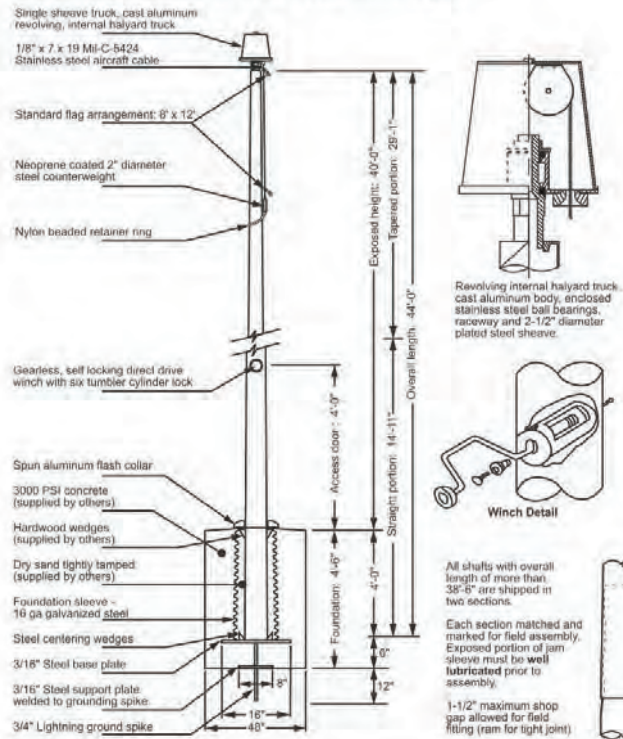


AFC FLAG DETAIL SCALE: 1/2"=1'



FLAG DETAILS SCALE: NTS

Model EC40 IH - Deluxe Internal Halyard



ANDY'S FROZEN CUSTARD-MASTER

CUSTOMER
AFC-OPT-FLAG-40 AS SHOWN
DRAWING NUMBER ELEVATION

04.22.22
DATE REVISED

DEREK CROUCH PROJECT MANAGER
TIM SWAIM DESIGNER

ALL
LOCATION

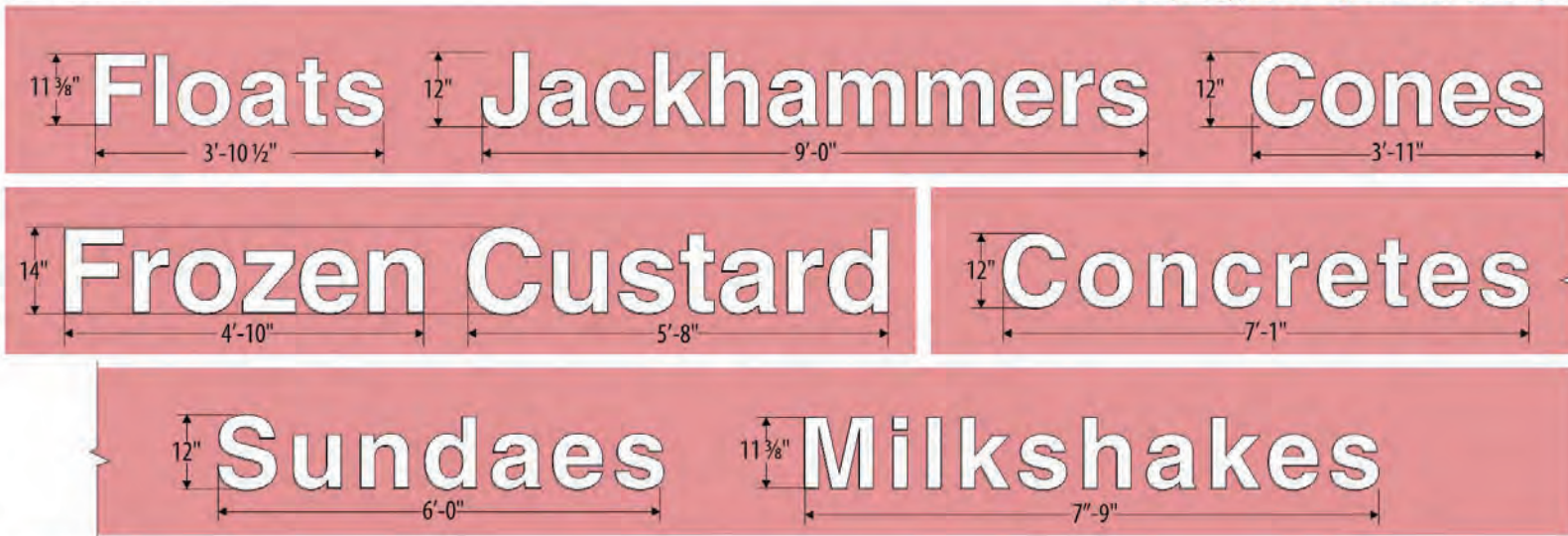
SCOPE OF WORK

- ▶ 40' flag pole (.156 w) standard aluminum finish 8" dia, with internal halyard
- ▶ 12' x 8' American flag, hi-quality - double weave
- ▶ 6' x 4' custom Andy's flag, hi-quality - double weave
- ▶ Keystone 25W LED Spot Light (qty 2)
- ▶ Power run and controllers by others
- ▶ Foundation TBD per site specific engineering



ELEVATION VIEW / SCALE: 1:20

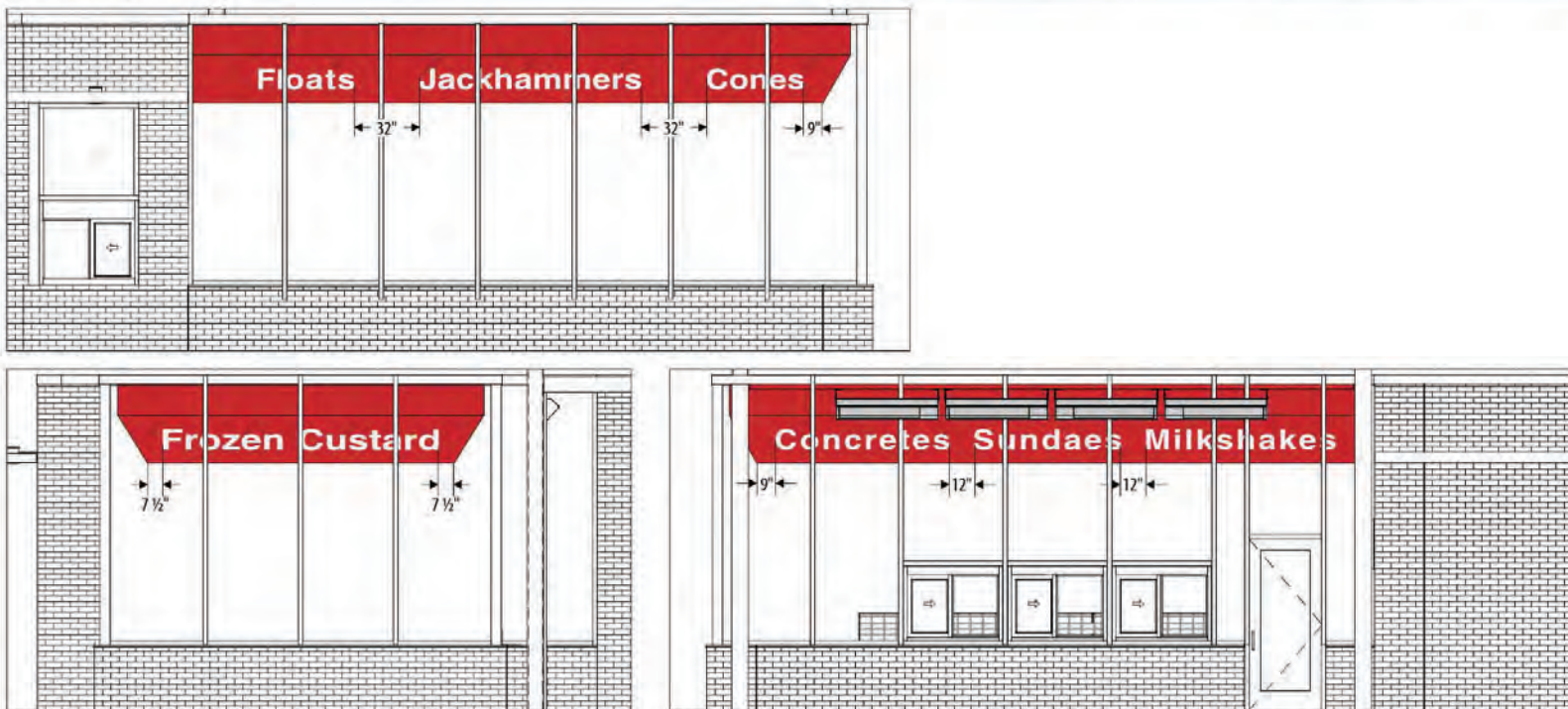
*Drawings are Typical Pending Architectural Renderings



ANDY'S FROZEN CUSTARD	
CUSTOMER	
AFC-STND-SPEC-1	AS SHOWN
DRAWING NUMBER	ELEVATION
10.04.22	
DATE REVISED	
BUDDY HINDS	TIM SWAIM
DESIGNER	PROJECT MANAGER

ALL
LOCATION:
SCOPE OF WORK:
Interior FCOs
▶ 1/2" PVC Lettering; Flush Mounted to Ceiling Element w/ 2-Sided Tape & Studs
○ PVC - White

PROPOSED VIEW / SCALE: 1/4"=1'-0"



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© ANDY'S FROZEN CUSTARD/MASTER RENDERING/GET STANDARD DRAWINGS/PAK HOUSE ID#14



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

April 8, 2026

City of Darian
1702 Plainfield Road
Darien, Illinois

Attention: Ryan Murphy

Subject: 2201 75th Street – Dutch Bros. and Andy’s Frozen Custard Commercial
Developments
(CBBEL Project No. 950323.H0282)

Dear Ryan:

As requested, we have reviewed the following documents associated with this project:

- Preliminary Engineering plans for 2201 75th Street, prepared by Manhard Consulting, consisting of 6 pages, bearing a revision date of March 18, 2026
- Preliminary Plat of Subdivision, prepared by Atwell, consisting of 3 pages, bearing a revision date of March 18, 2026
- Preliminary Stormwater Management Summary for 2201 75th Street, prepared by Manhard Consulting, bearing a revision date of February 27, 2026 (previous submittal)
- Existing Boundary and Topographic Survey, prepared by Manhard Consulting, consisting of 2 pages, dated January 26, 2026 (previous submittal)
- Alta Commitment for Title Insurance, prepared by Stewart Title Guaranty Company, consisting of 20 pages, undated (previous submittal)
-

The following comments are provided for your use. We will defer to your judgement if the below comments must be addressed prior to Plan Commission or can be incorporated into the final plans.

Preliminary Plat of Subdivision

1. In Easement Notes 1, the work GRAND should be GRANT.

Preliminary Engineering Plans

1. There is an order board shown in the patio area of Andy’s. We presume this is misplaced.
2. We presume the order boards for Dutch Bros. will be the square and median directly south of the building.
3. It is our understanding that any outdoor seating areas will have perimeter fencing to separate the area from traffic.

4. We presume that there will be a curb ram southeast of the Dutch Bros. building on the route to the trash enclosure.
5. We suggest that if either building will have outdoor seating, that consideration be given to adding bollards or some other barrier to protect against errant vehicles.

If you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "Daniel Lynch".

Daniel L. Lynch, PE, CFM
Vice President, Head Municipal Engineering Department

Cc Dan Gombac, City of Darien



**PRELIMINARY
STORMWATER MANAGEMENT SUMMARY
FOR**

2201 75th SREET

DARIEN, ILLINOIS

Prepared for:

CORE ACQUISITIONS

10 Parkway North Boulevard, Suite 120
Deerfield, IL 60015

Prepared by:

MANHARD CONSULTING, LTD.

333 E. Butterfield Road, Suite 600
Lombard, IL 60148

PROJECT CODE – CAQ.DRIL01.01
February 27th, 2026

TABLE OF CONTENTS

NARRATIVE

- Introduction
- Project Description
- Existing Conditions
- Detention Summary
- PCBMP Summary
- Wetland
- Floodplain
- Summary

FIGURES

- Location Map
- Existing Flood Insurance Rate Map
- National Wetlands Inventory Map
- Historical Development Aerial (1998 Aerial from DuPage County)
- Historical Development Aerial (2025 Aerial from DuPage County)
- Existing Conditions Impervious Area Exhibit
- Proposed Conditions Impervious Area Exhibit

APPENDIX

- Preliminary Engineering Plans



INTRODUCTION

The purpose of this Preliminary Stormwater Management Summary is to identify the onsite Stormwater Detention and Post Construction Best Management Practices (PCBMP) requirements for the proposed development. The proposed improvements are located at the northeast corner of Fairmont Avenue and 75th Street in Darien, Illinois. The total development area is comprised of approximately ±1.41 acres. The subject property is part of a larger development that was annexed into the Village of Darien as part of a PUD (Darien Towne Centre) on April 19th, 1993. Refer to Village Ordinance No. 0-16-93, 0-17-93, and 0-18-93 for additional information.

PROJECT DESCRIPTION

This redevelopment will consist of a new two (2) lot subdivision within the property that formerly occupied a TGI Friday's Restaurant. Both lots will feature a proposed quick service restaurant (QSR) with drive-thru facility. Parking will be provided along the northern frontage of both lots. Approximately 36 parking stalls will be included within the preliminary site plan of the proposed two (2) lot subdivision. In the proposed condition, the northern portion of the site will drain to an existing storm sewer located at the southwest and southeast corners of the property. Both existing storm sewer networks are tributary to a regional detention facility that was constructed as part of the overall development.

EXISTING CONDITIONS

The existing property is approximately ±1.4 acres of land within an existing shopping center. The overall development is part of a larger development that was annexed into the Village of Darien as part of a PUD (Darien Towne Centre) on April 19th, 1993. Refer to Village Ordinance No. 0-16-93, 0-17-93, and 0-18-93 for additional information.

Per the original ordinance and annexation agreement, a regional stormwater detention facility was constructed at the southwest corner of the property. This existing facility was used to provide stormwater detention for the overall PUD Development. The existing storm sewer adjacent to the subject development will convey stormwater runoff to the existing stormwater management system.

ONSITE DETENTION SUMMARY

According to available records, the existing conditions at the subject property have not been altered since 1993. This information is confirmed by historical aerial photography obtained from the DuPage County Interactive Map Gallery. The aerials obtained document that there has been no net increase in impervious area since 1993.

The DuPage County Stormwater and Flood Plain Ordinance (April 2013) states the following:

Section 15-72A. The following cases or special conditions represent exceptions to providing site runoff storage:

15-72.A-1 When comparing the Impervious Area of the pre-development Development Site as it existed as of February 15, 1992 to the with-development Impervious Area of the same Development Site, **excluding any areas of the Development Site for which detention has**

already been provided, and the Impervious Area has not increased by a minimum of 25,000 sq. ft. cumulatively of permitted development.

Therefore, under the current ordinance interpretation, the following elements are to be included in determining the detention requirements:

- Comparison of the 1998 Historical Aerial to the Present (2026) Aerial Photography illustrates that there has been no net increase in impervious areas within that timeframe.
- Although the original site improvements were constructed after the February 15, 1992 date identified within the County Stormwater Ordinance, it is understood that the existing regional detention facility within the southwest corner of the property provided stormwater detention for the overall development of the PUD. Therefore, the existing impervious area represented within the current topographic survey shall be used as a baseline for determining the stormwater detention threshold.
- Proposed improvements (Two Buildings with adjacent parking and drive thru facilities) shall **increase** the total impervious areas of the property by approximately **43 Square Feet**.
- Refer to Impervious Area Exhibits for clarification.

The total new development as defined in the current ordinance is equal to **43 SF of net new** impervious area. **Therefore, stormwater detention is NOT required because this is below the 25,000 square foot threshold identified above.**

POST CONSTRUCTION BEST MANAGEMENT PRACTICE (PCBMP) SUMMARY

Post Construction Best Management Practice (PCBMP's) shall NOT be required for the subject improvements. Under the current DuPage County Stormwater and Flood Plain Ordinance, up to 2,500 square feet (SF) of net new impervious area may be added since April 23, 2013 to an existing site before a PCBMP is required. Therefore, under the current ordinance interpretation, the following elements are to be included in determining the Post Construction BMP requirements:

- Comparison of the 1998 Historical Aerial to the Present (2026) Aerial Photography illustrate that there has been no net increase in impervious area within that timeframe.
- Proposed improvements (Two Buildings with adjacent parking and drive thru facilities) shall **increase** the total impervious areas of the property by approximately **43 Square Feet**.
- Refer to Impervious Area Exhibits for clarification.

The total new development as defined in the current ordinance is equal to **43 SF of net new** impervious area. **Therefore, Post Construction Best Management Practices (PCBMP's) are NOT required.**

WETLAND

The U.S. Fish & Wildlife Service's National Wetlands Inventory Map does not identify existing wetland data within the vicinity of the project. A copy of this document has been provided for clarification.

FLOODPLAIN

The Federal Emergency Management Agency (FEMA) specifies that there are not any existing Zone AE Floodplains located within the subject improvements. The DuPage County Stormwater and Floodplain Ordinance define the Base Flood Elevation (BFE) as the flood having a one percent probability of being equaled or exceeded in a given year. It is also known as the 1% chance or 100-year flood, and it is classified as Zone AE per the FEMA definition.

SUMMARY

- Stormwater Detention is **NOT** required per the DuPage Countywide Stormwater and Flood Plain Ordinance
- Post Construction Best Management Practices (PCBMP's) are **NOT** required per the DuPage Countywide Stormwater and Flood Plain Ordinance
- The site development meets the stormwater management requirements of the DuPage Countywide Stormwater and Flood Plain Ordinance

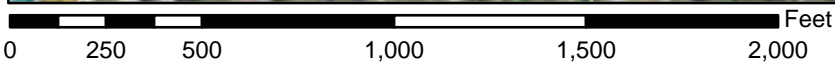
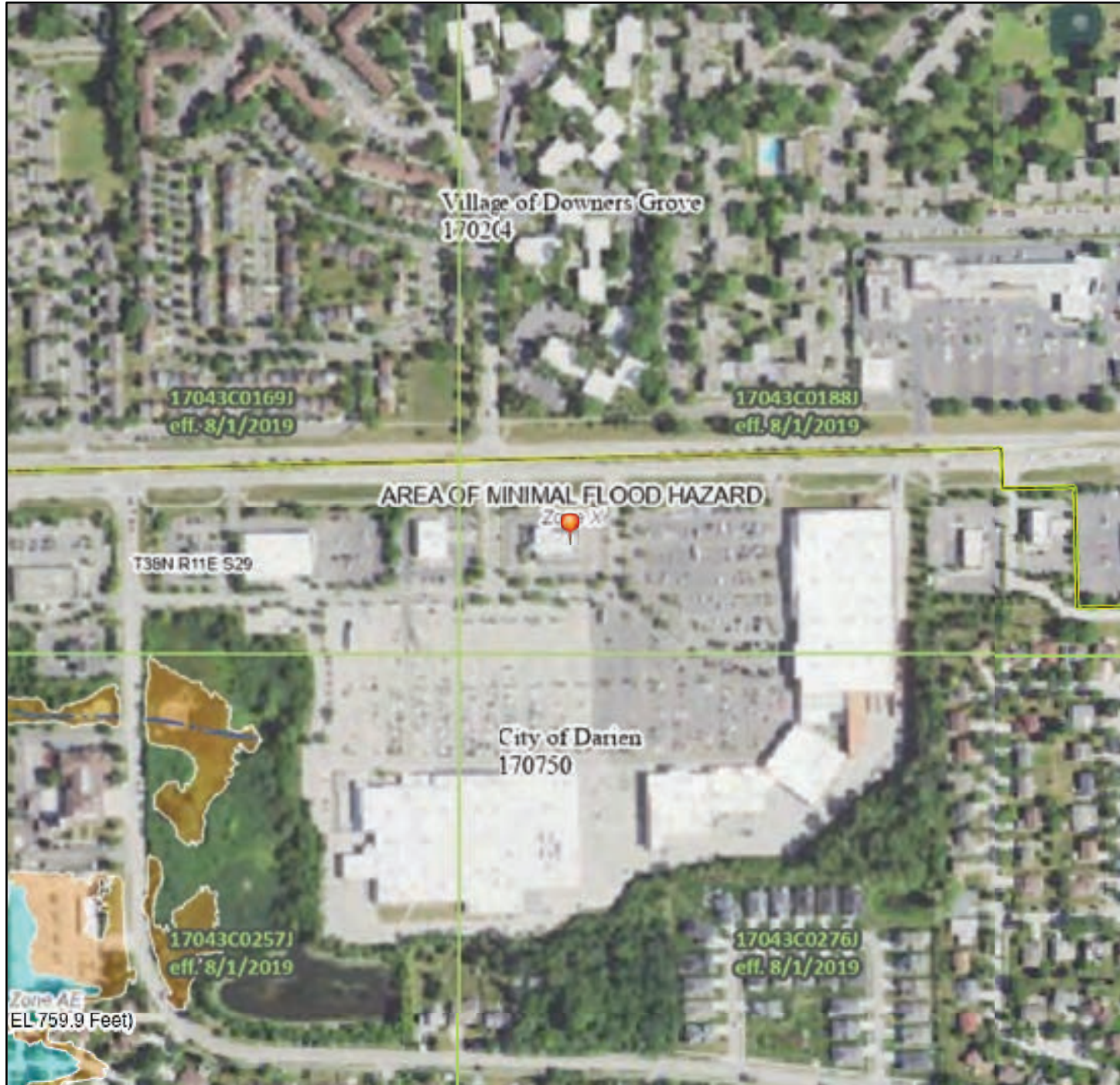


Imagery ©2026 Airbus, Maxar Technologies, Vexcel Imaging US, Inc., Map data ©2026 Google 200 m

National Flood Hazard Layer FIRMette



88°0'15"W 41°45'16"N



1:6,000

87°59'38"W 41°44'49"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

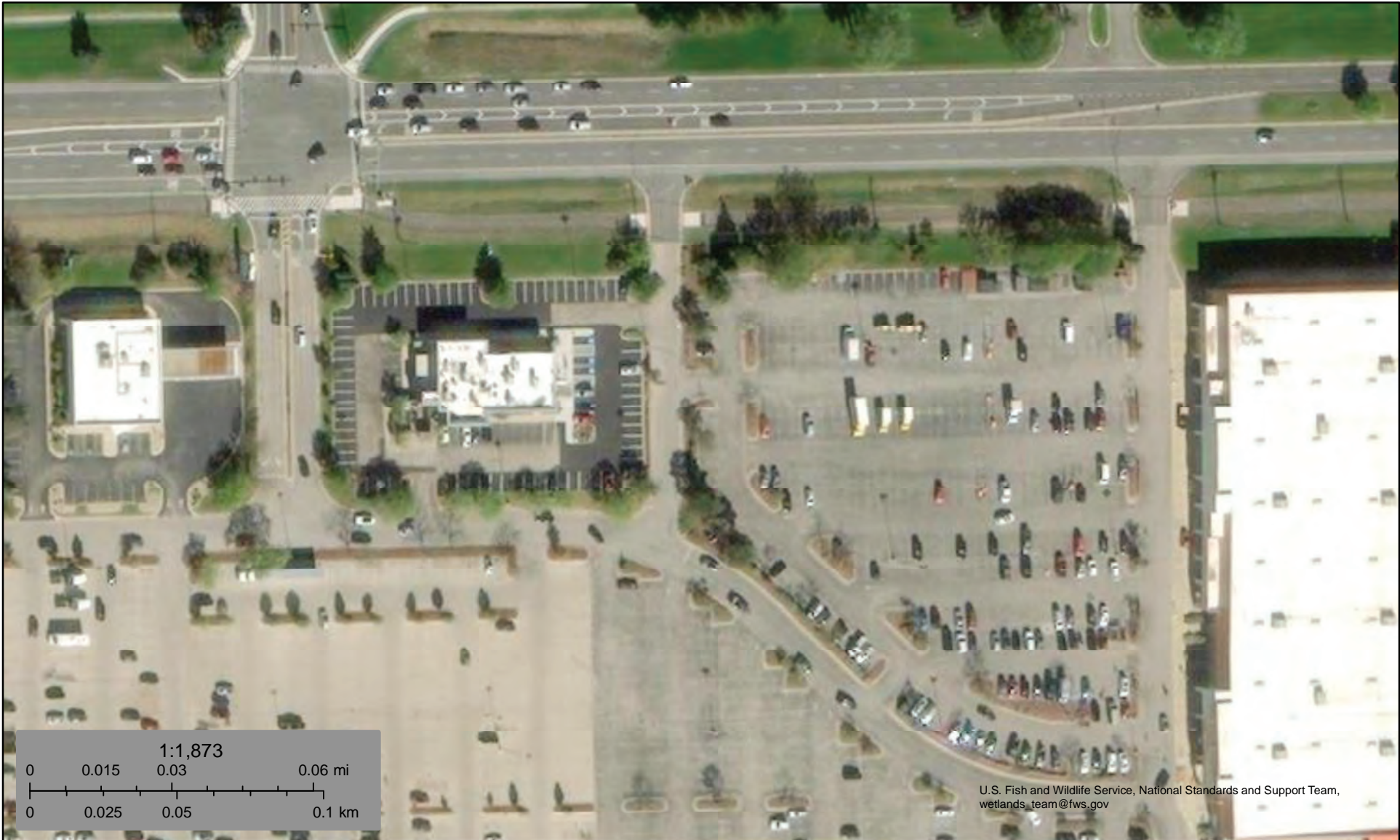
SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		8 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **2/26/2026 at 8:02 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.









This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



U.S. Fish and Wildlife Service, National Standards and Support Team,
wetlands_team@fws.gov

February 26, 2026

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



771.24

278

53

190

190

026

185.07

91.96

28.71

47.08

47.1

141.99

83.85

23.87

280.26

55.89

Pt 2

113



DuPage County
Information Technology Department / GIS Division
421 N County Farm Rd.
Wheaton, IL 60187






Phone: 1(630)407-5000
Email: gis@dupageco.org

DuPage Maps Portal:
<https://www.dupage-maps.arcgis.com/home>

This map is for assessment purposes only.

DuPage County Web Site:
<https://www.dupagecounty.gov>

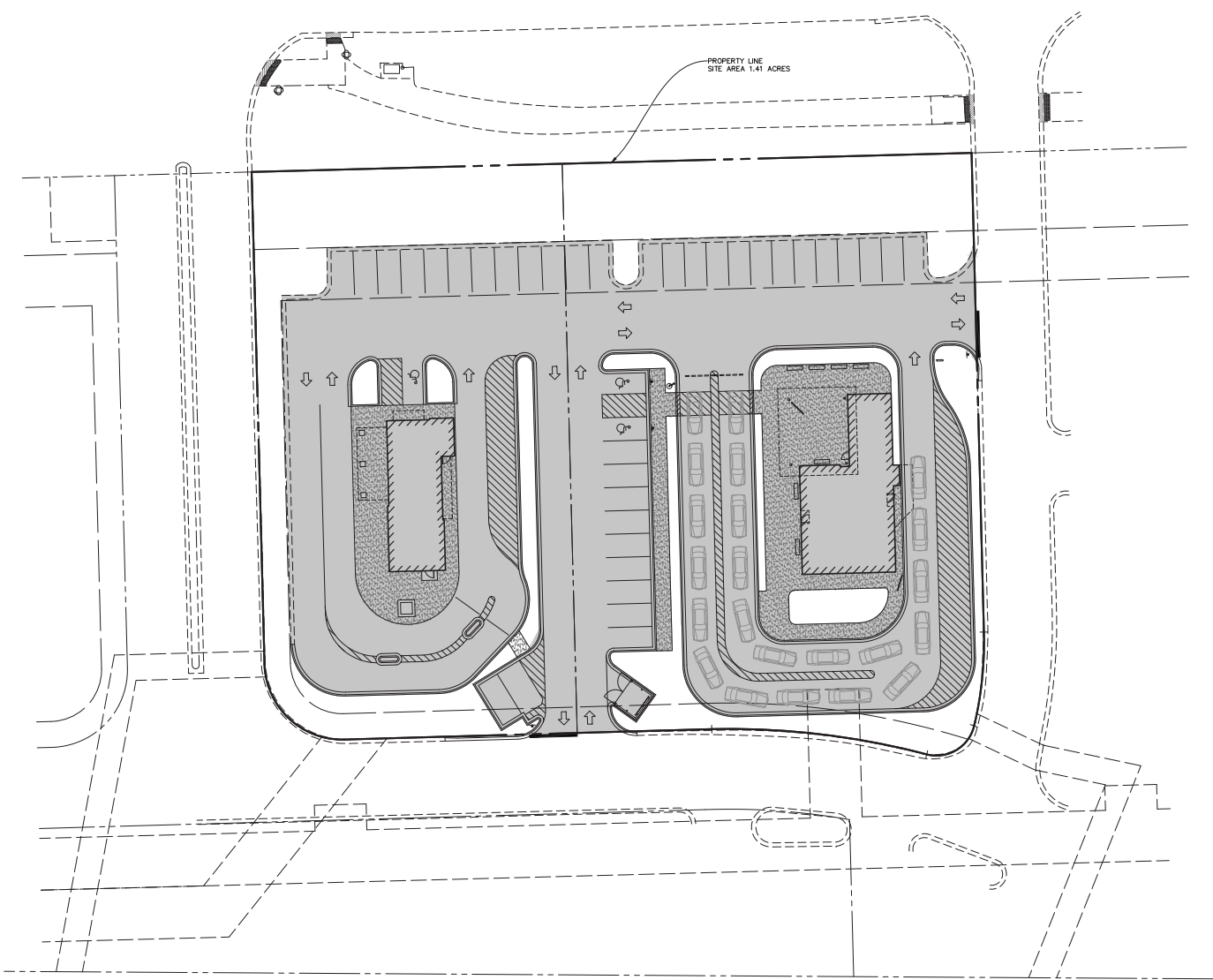

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-  DuPage County
-  Townships
-  Sections
-  Quarter Sections
-  Half Quarter Sections

Regional County Boundaries

-  COOK
-  KANE
-  KENDALL
-  LAKE

January 25, 2018 - 1:28 PM - C:\Users\manhard\OneDrive\Documents\2201 75th Street\2201 75th Street\2201 75th Street.dwg



PROPERTY LINE
SITE AREA 1.41 ACRES



DRAINAGE AREAS	
SITE AREA	61,415.59 S.F. (1.41 ACRES)
IMPERVIOUS AREA	43,700.92 S.F. (1.00 ACRES)

PAVEMENT LEGEND	
	IMPERVIOUS AREA

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2201 75TH STREET
CITY OF DARIEN, ILLINOIS
PROPOSED DRAINAGE AREA EXHIBIT

PROJ. NO.	208
PROJ. ASSOC.	
DRAWN BY	BRB
DATE	2/23/2018
SCALE	1" = 20'

SHEET
1 OF **1**
CAQ.DRI.01

Manhard CONSULTING
333 WEST BIRCH AVE., SUITE 200, DARIEN, IL 60015
TEL: 708.381.1100 FAX: 708.381.1101
www.manhardconsulting.com
An Engineering - City Planning - Urban - Landscape Architecture - Water & Wastewater - Engineering - Environmental Engineering - Environmental Remediation - Construction Management - Firm

AGENDA MEMO
MUNICIPAL SERVICES COMMITTEE
APRIL 27, 2026

ISSUE STATEMENT

Text amendments to Title 7 (Health and Sanitation) to clarify existing outdoor storage standards for trash bins under Section 7-1-5(B) of the City Code.

ORDINANCE

BACKGROUND/OVERVIEW

In March 2026, City staff reviewed existing storage requirements for residential refuse and recycling containers, contained in Section 7-1-5(B) of the City's Code, with an Administrative Hearing Officer for the purpose of determining their enforceability. Following this review, staff were informed that the regulations were not enforceable as intended, due to the fact that standardized bins and/or totes provided by the City's franchised waste hauler, Lakeshore Recycling Systems (LRS), could easily be construed as the "City-approved container" described in the Code.

Staff developed ordinance revisions (shown below) that clarify that LRS bins and other trash cans, recycling containers and compost bins shall be located in a prefabricated enclosure of a certain size, with the ability of the Community Development Director to approve alternatives.

ORDINANCE REVISIONS

The proposed ordinance revisions are below. Added text is shown in **bold type**, while deleted text is shown with a ~~strikethrough~~.

(B) Refuse, recyclables or compostable materials stored in approved containers such as kraft bags **or residential carts/totes issued by the City's franchised waste hauler**, may be placed on the parkway twenty four (24) hours before the scheduled scavenger service and containers used to store these items shall be removed from the parkway twenty four (24) hours after said scavenger service. It shall be unlawful to place such containers anywhere between the front of the main building, or the side when facing the street, and the street, except during the times specified hereinabove. ~~City approved containers may be stored between the front of the main building and the street, or between the side of the building and the street when the side of the building is facing the street. The make and model of the approved containers are on file in the City's Building Department.~~ **Residential carts/totes issued by the franchised waste hauler may be stored in the front yard or street-facing side yard only if fully enclosed within a pre-manufactured outdoor storage unit (such as a deck box or horizontal storage shed) with minimum interior dimensions sufficient to contain the residential cart/tote and maximum exterior dimensions of no greater than sixty inches (60") in length, forty inches (40") in width, and fifty-four inches (54") in height, which shall be placed no further than five (5) feet from the garage or front wall of the home, and placed at least five (5) feet or more from any property line. Alternative enclosures constructed of wood or other materials are subject to review and approval by the Community Development Director.**

DECISION MODE

The Municipal Services Committee will consider this item at its meeting on April 27, 2026.

MEETING SCHEDULE

Municipal Services Committee
 City Council

April 27, 2026
 May 4, 2026

**CITY OF DARIEN
DU PAGE COUNTY, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE AMENDING TITLE 7, HEALTH AND SANITATION,
OF THE DARIEN CITY CODE**

(RE: STORAGE OF LRS BINS)

**ADOPTED BY THE
MAYOR AND CITY COUNCIL
OF THE
CITY OF DARIEN**

THIS ____ DAY OF _____, 2026

**Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
_____ day of _____, 2026.**

ORDINANCE NO. _____

**AN ORDINANCE AMENDING TITLE 7, HEALTH AND SANITATION,
OF THE DARIEN CITY CODE**

(RE: STORAGE OF LRS BINS)

WHEREAS, the City of Darien is a home rule unit of local government pursuant to the provisions of Article VII, Section 6 of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of local government, the City may exercise any power and perform any function pertaining to its government except as limited by Article VII, Section 6; and

WHEREAS, the City of Darien has adopted Health and Sanitation Regulations set forth in the Darien City Code Title 7; and

WHEREAS, City Council has deemed it reasonable to periodically review said Code and make necessary changes thereto; and

WHEREAS, on April 27, 2026, the City's Municipal Services Committee reviewed a proposed update to the Code and has forwarded its recommendation of approval of this petition to the City Council; and

WHEREAS, the City Council has reviewed the findings and recommendations described above and now determines to grant the petition subject to the terms, conditions, and limitations described herein below;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE

ORDINANCE NO. _____

POWERS, ILLINOIS, as follows:

SECTION 1: Title 7 of the City Code of Darien, Section 7-1-5(B) “Storing or Placing Garbage, Refuse, Recyclables, Compostable Materials, Etc., on the Parkway for Scavenger Removal” is hereby amended to read as follows:

(B) Refuse, recyclables or compostable materials stored in approved containers such as kraft bags or residential carts/totes issued by the City’s franchised waste hauler, may be placed on the parkway twenty four (24) hours before the scheduled scavenger service and containers used to store these items shall be removed from the parkway twenty four (24) hours after said scavenger service. It shall be unlawful to place such containers anywhere between the front of the main building, or the side when facing the street, and the street, except during the times specified hereinabove. Residential carts/totes issued by the franchised waste hauler may be stored in the front yard or street-facing side yard only if fully enclosed within a pre-manufactured outdoor storage unit (such as a deck box or horizontal storage shed) with minimum interior dimensions sufficient to contain the residential cart/tote and maximum exterior dimensions of no greater than sixty inches (60") in length, forty inches (40") in width, and fifty-four inches (54") in height, which shall be placed no further than five (5) feet from the garage or front wall of the home, and placed at least five (5) feet or more from any property line. Alternative enclosures constructed of wood or other materials are subject to review and approval by the Community Development Director.

SECTION 2: Home Rule. This ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law, or (b) legislate in a manner or regarding a matter no delegated to municipalities by state law. It is the intent of the corporate authorities of the City of Darien that to the extent of the terms of this ordinance should be inconsistent with any non-preemptive state law, that this ordinance shall supercede state law in that regard within its jurisdiction.

SECTION 3: Effective Date. This Ordinance shall be in full force and effect upon its passage, approval, and publication as required by law.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF DARIEN,
DU PAGE COUNTY, ILLINOIS**, this ____ day of _____, 2026.

ORDINANCE NO. _____

AYES _____

NAYS: _____

ABSENT: _____

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY,
ILLINOIS, this ____ day of _____, 2026.**

JOSEPH A. MARCHESE, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

MINUTES
CITY OF DARIEN
MUNICIPAL SERVICES COMMITTEE
Monday, March 23, 2026

PRESENT: Alderman Thomas Belczak – Chairman, Alderman Ted Schauer, Alderman Ralph Stompanato

ABSENT: None

OTHERS: Mr. Dan Gombac – Director

Establish Quorum

Chairperson Thomas Belczak called the meeting to order at 6:00 p.m. at the City of Darien City Hall, 1702 Plainfield Road, Darien, Illinois. Chairperson Belczak declared a quorum present.

Old Business

There was no old business to discuss.

New Business

- m. PZC-26-3 – Petition from Connor Franklin c/o RCG Ventures for a minor amendment to a planned unit development and plat of subdivision to subdivide the property at 2101 West 75th Street (PIN 09-29-400-033) into two lots within the General Business District (B-3). There will be no new construction, and no other changes are proposed.**

Mr. Gombac, Director, reported that RCG Ventures was the real estate broker for TGIF and Home Depot. He reported that Home Depot would be renewing a long-term lease and would want control over their own property maintenance. He further reported that two business had been proposed at the TGIF property.

Chairperson Belczak questioned if they would have their own PIN since they would carve out that section of property.

Mr. Gombac confirmed that they would. He further stated that they would have access to the 75th Street traffic signal.

Alderman Eric Gustafson questioned how this would impact the maintenance of the property and if they would hire a separate company.

Mr. Gombac stated that it would depend on how they set up their deal with RCG.

Alderman Gustafson questioned what the overall purpose would be.

Mr. Gombac reported that it would be for ownership.

Alderman Stompanato made a motion, seconded by Alderman Schauer to approve PZC-26-3 – Petition from Connor Franklin c/o RCG Ventures for a minor amendment to a planned unit development and plat of subdivision to subdivide the property at 2101 West 75th Street (PIN 09-29-400-033) into two lots within the General Business District (B-3). There will be no new construction, and no other changes are proposed.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- n. PZC-26-2 – Petition from Darick Ammons for the approval of a Special Use Permit for the establishment and operation of a pool hall/amusement use with a full kitchen and bar within the Chestnut Court shopping center located in the B-3 (General Business) zoning district at the southeast corner of 75th Street and Lemont Road, commonly known as 7511 Lemont Road (PINs 09-29-300-008, 09-29-300-022, 09-29-300-023, 09-29-300-024, and 09-29-300-025.**

Mr. Gombac reported that this would be the first part of a major entertainment, kitchen, bar-use and would not follow the typical pool hall model. He reported that it would be an upscale place with craft beer and whiskey, full-service kitchen, billiards tables, and events, and would bring a lot of foot traffic to the shopping center. He further reported that the petition would be mixed-use, pool hall/amusement special use, with potential economic incentives through the TIF, pending a deal with the developer.

Alderman Eric Gustafson stated that he attended the PZC meeting and that the petitioner would set aside dedicated family time at the establishment. He questioned how that would work with the liquor license.

Mr. Gombac stated that they would be allowed in, just not at the bar, similar to Chuck's. He stated that the petitioner was very motivated, family-oriented and professional.

Alderman Ralph Stompanato questioned if they would provide classes to the high school.

Mr. Gombac reported that he would give back to the community in some way.

There was some discussion regarding the responsiveness of the management team.

Alderman Gustafson confirmed that there had been no issues raised at the PZC meeting.

Alderman Schauer made a motion, seconded by Alderman Stompanato to approve PZC-26-2 – Petition from Darick Ammons for the approval of a Special Use Permit for the establishment and operation of a pool hall/amusement use with a full kitchen and bar within the Chestnut Court shopping center located in the B-3 (General Business) zoning district at the southeast corner of 75th Street and Lemont Road, commonly known as 7511 Lemont Road (PINs 09-29-300-008, 09-29-300-022, 09-29-300-023, 09-29-300-024, and 09-29-300-025.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- a. Motion – Accepting a proposal from Steve Piper and Sons, Inc., for Tub Grinding Services in an amount not to exceed \$6,500.00.**

Mr. Gombac reported that they had been utilizing this operation for years, that it involved double grinding chips for resident use. He reported that it would cost the city slightly more, but it would be a service for residents. He further reported that they will be looking at the quality of the chips with the vendor before distributing to residents, and that they should call Public Works with their orders once it is open.

There was no one in the audience wishing to present public comment.

Alderman Stompanato made a motion, seconded by Alderman Schauer to accept a proposal from Steve Piper and Sons, Inc., for Tub Grinding Services in an amount not to exceed \$6,500.00.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- b. Resolution – Authorization to execute an Illinois Department of Transportation Resolution, (IDOT BLR 14220) authorizing the expenditure of Motor Fuel Tax (MFT) funds for the FY 2026/27 General Maintenance items in the amount of \$802,784.90 for a period from May 1, 2026 through April 30, 2027.**

Mr. Gombac reported that there had been a couple different attachments including material, labor, etc. He reported that it would cover any type of ROW, or anything there for the public good, and that this was done with IDOT every year.

There was no one in the audience wishing to present public comment.

Alderman Schauer made a motion, seconded by Alderman Stompanato to approve a Resolution – Authorization to execute an Illinois Department of Transportation Resolution, (IDOT BLR 14220) authorizing the expenditure of Motor Fuel Tax (MFT) funds for the FY 2026/27 General Maintenance items in the amount of \$802,784.90 for a period from May 1, 2026 through April 30, 2027.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- c. Resolution – Allowing the City of Darien to perform maintenance and emergency work on City owned infrastructure on State of Illinois Highway System, for a period May 1, 2026 through April 30, 2028.**

Mr. Gombac reported that this would come back on an annual basis, and if an emergency occurred, like a water main break, it would be the city's responsibility, and this would allow the State of Illinois Highway System to come on city property and do what they need to do.

Alderman Stompanato questioned if they own the piece of property that the trucks work on.

Mr. Gombac reported that they were working on that. He further reported that Christopher Burke Engineering had put a plan in place to resurface the roadway. He reported that the police department could enforce the property, but not public works.

There was no one in the audience wishing to present public comment.

Alderman Schauer made a motion, seconded by Alderman Stompanato to approve a Resolution – Allowing the City of Darien to perform maintenance and emergency work on City owned infrastructure on State of Illinois Highway System, for a period May 1, 2026 through April 30, 2028.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- d. Ordinance – Approving a master licensing agreement between the City of Darien and Ezee Fiber Texas, LLC for a citywide fiber optic infrastructure implementation.**

Mr. Gombac reported that this company was based in Texas and was currently working in Downers Grove, and that AT&T had been working on buildouts. He reported that they would work in front of houses in the rights-of-way. He further reported that Lumos had been given a license, but haven't officially pulled out. Mr. Gombac reported they would likely start work in the late summer, but had not submitted drawings or applied for permits. He reported that they would replace the full width of concrete and backfill with an instant material. He further reported that the company would provide a full presentation at the city council meeting. Mr. Gombac further clarified that they could not say no, only negotiate, and that Attorney Murphey concluded it would be first-come, first-serve.

There was no one in the audience wishing to present public comment.

Alderman Stompanato made a motion, seconded by Alderman Schauer to approve an Ordinance – Approving a master licensing agreement between the City of Darien and Ezee Fiber Texas, LLC for a citywide fiber optic infrastructure implementation.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- e. Motion – Accepting a proposal from Garland/DBS, Inc., Services related to the interior wall, roof purlins, roof and gutter upgrades of the Municipal Services Salt Shed, 1041 S Frontage Road, including materials and related services for the repairs and upgrades of specified work in an amount not to exceed \$295,763.**

Mr. Gombac reported that this would be for the upcoming budget, and that they wanted to secure some material as prices were increasing. He reported that the building had been shifting due to cracking and the momentum from loading and unloading salt. He further reported that the inside had cracks and that they would need to remove salt, air-dry the inside, and remove the salt leeching and rusting, and check the moisture. Mr. Gombac reported that they would need a new membrane on the roof and would call in service for the labor, with a 15-year guarantee.

There was no one in the audience wishing to present public comment.

Alderman Stompanato made a motion, seconded by Alderman Schauer accepting a proposal from Garland/DBS, Inc., Services related to the interior wall, roof purlins, roof and gutter upgrades of the Municipal Services Salt Shed, 1041 S Frontage Road, including materials and related services for the repairs and upgrades of specified work in an amount not to exceed \$295,763.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- f. Motion – Approving a dedicated Plat of Easement at Chestnut Court Plaza for an electrical service to provide power for low-voltage lighting at the City’s gateway sign, located within the southern right-of-way east of Lemont Road, on property owned by Chestnut Court Darien IL LLC (PIN No. 09-29-300-008).**
- g. Motion – Authorizing the Mayor to enter into an agreement with Chestnut Court Darien IL LLC related to providing electrical service for the low-voltage lighting at the City’s gateway sign located within the southern right-of-way east of Lemont Road.**

Mr. Gombac reported that this was the program for lighting on the welcome signs. He reported that ComEd would allow them to use a transformer, but they would have to go across the street and bore into the road. He further reported that they went to Chestnut Court who agreed to let them use a light pole through the easement, which would cost about \$100 per year, and renewed annually based on consumption.

There was no one in the audience wishing to present public comment.

Alderman Schauer made a motion, seconded by Alderman Stompanato approving a dedicated Plat of Easement at Chestnut Court Plaza for an electrical service to provide power for low-voltage lighting at the City’s gateway sign, located within the southern right-of-way east of Lemont Road, on property owned by Chestnut Court Darien IL LLC (PIN No. 09-29-300-008) and authorizing the Mayor to enter into an agreement with Chestnut Court Darien IL LLC related to providing electrical service for the low-voltage lighting at the City’s gateway sign located within the southern right-of-way east of Lemont Road.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- h. Ordinance – Authorizing the City of Darien to participate in the Suburban Tree Consortium Membership for the future purchase of trees and labor to install.**

Mr. Gombac reported that city arborist Paul Devine suggested joining the consortium instead of going to bid every year, which would cost \$575 per year, save money, and give them access to all vendors. He reported that Mr. Devine would sit on the board and would be able to meet with the vendors and other counterparts.

There was no one in the audience wishing to present public comment.

Alderman Schauer made a motion, seconded by Alderman Stompanato to approve an Ordinance – Authorizing the City of Darien to participate in the Suburban Tree Consortium Membership for the future purchase of trees and labor to install.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- i. Motion – Accepting a proposal from Belmont Digital LLC to remove damaged components and replace the marquee panel, data box controls, limited welding metal fabrication and the illuminated sign panel for the Marquee Site on the southwest corner of Plainfield Rd. and Cass Ave. 7702 Cass Ave. at a cost not to exceed \$34,950.**
- j. Motion – Accepting a proposal from Terrain Landscape Contractors to remove damaged components and replace the landscape lighting controller, low voltage lighting, limited retaining wall reset, landscape plantings and mulch at the Marquee Site on the southwest corner of Plainfield Rd. and Cass Ave. 7702 Cass Ave. at a cost not to exceed \$9,743.**
- k. Motion – Approving electrical services from Rags Electric, Inc. as related to the electric panel circuitry, re-wiring and conduit removal and replacement at the material and hourly unit prices in an estimated amount not to exceed \$2,000 at the Marquee Site on the southwest corner of Plainfield Rd. and Cass Ave. 7702 Cass Ave. Unit costs on file under R-13-25 Rag’s Electric Street Light Maintenance.**
- l. Motion – Approval for a contingency for unforeseen damages to underground, and structural components, water that may require removal and replacement at a cost not to exceed \$5,000 at the Marquee Site on the southwest corner of Plainfield Rd. and Cass Ave. 7702 Cass Ave.**

Mr. Gombac reported that there had been a vehicular accident that caused significant damage to the sign and most of the panel controls located behind the impact zone, that this would be a package deal with Belmont Digital. He reported that there had been two competitive bids for landscaping and the city would be responsible for \$4,000-4,500 due to lighting damage. He further reported that they would rebuild the retaining wall and put in new plantings. Mr. Gombac reported that Rags Electric would reinstall the conduit and wiring, and the insurance would want detailed invoices upon completion. He reported that there would be \$51,693 in expense, but it would be mostly reimbursement.

There was some discussion regarding insurance.

There was no one in the audience wishing to present public comment.

Alderman Stompanato made a motion, seconded by Alderman Schauer accepting a proposal from Belmont Digital LLC to remove damaged components and replace the marquee panel, data box controls, limited welding metal fabrication and the illuminated sign panel for the Marquee Site on the southwest corner of Plainfield Rd. and Cass Ave. 7702 Cass Ave. at a cost not to exceed \$34,950, accepting a proposal from Terrain Landscape Contractors to remove damaged components and replace the landscape lighting controller, low voltage lighting,

limited retaining wall reset, landscape plantings and mulch at the Marquee Site on the southwest corner of Plainfield Rd. and Cass Ave. 7702 Cass Ave. at a cost not to exceed \$9,743, approving electrical services from Rags Electric, Inc. as related to the electric panel circuitry, re-wiring and conduit removal and replacement at the material and hourly unit prices in an estimated amount not to exceed \$2,000 at the Marquee Site on the southwest corner of Plainfield Rd. and Cass Ave. 7702 Cass Ave. Unit costs on file under R-13-25 Rag's Electric Street Light Maintenance, and approval for a contingency for unforeseen damages to underground, and structural components, water that may require removal and replacement at a cost not to exceed \$5,000 at the Marquee Site on the southwest corner of Plainfield Rd. and Cass Ave. 7702 Cass Ave.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- o. Minutes – February 23, 2026 Municipal Services Committee.

There was no one in the audience wishing to present public comment.

Alderman Schauer made a motion, seconded by Alderman Stompanato approving the February 23, 2026 Municipal Services Committee Meeting Minutes.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

Director's Report

Mr. Gombac reported that they would be updating the city website with the most recent commercial vehicle updates.

He reported that they were out to bid for the Plainfield Road wall and would submit permits to the county to increase the radius at Linden.

He reported that the gas station on Cass would break ground this year.

He reported that there had been some turnaround with businesses in town closing and potential new ones coming.

Next Scheduled Meeting

Chairperson Belczak announced that the next meeting is scheduled for Monday, April 27, 2026.

ADJOURNMENT

With no further business before the Committee, Chairperson Belczak adjourned the meeting at 7:14 p.m.

RESPECTFULLY SUBMITTED:

X

Thomas Belzak
Chairman

X

Ted Schauer
Alderman

X

Ralph Stompanato
Alderman